

**CULTURAL RESOURCE ASSESSMENT SURVEY  
FOR STATE ROAD 16 FROM INTERNATIONAL GOLF PARKWAY TO I-95  
ST. JOHNS COUNTY, FLORIDA**

**FINANCIAL MANAGEMENT No. 210447-5-32-01  
SEARCH PROJECT No. 230292**

**PREPARED FOR**

**FLORIDA DEPARTMENT OF TRANSPORTATION, DISTRICT 2  
LAKE CITY, FLORIDA**

**BY**

**SEARCH**

**JANUARY 2024**

**THE ENVIRONMENTAL REVIEW, CONSULTATION, AND OTHER ACTIONS REQUIRED BY APPLICABLE FEDERAL ENVIRONMENTAL LAWS FOR THIS PROJECT ARE BEING, OR HAVE BEEN, CARRIED OUT BY THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PURSUANT TO 23 U.S.C. §327 AND A MEMORANDUM OF UNDERSTANDING DATED MAY 26, 2022, AND EXECUTED BY THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) AND FDOT.**



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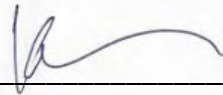
**PREPARED BY**

**SEARCH**

**MATTHEW MELE AND ALYSSA COSTAS**

A handwritten signature in black ink, appearing to read 'Jessica Fish', written over a horizontal line.

**JESSICA FISH, MSt, RPA  
PRINCIPAL INVESTIGATOR, ARCHAEOLOGY**

A handwritten signature in blue ink, appearing to read 'Kate Willis', written over a horizontal line.

**KATE WILLIS, MPS  
PRINCIPAL INVESTIGATOR, ARCHITECTURAL HISTORY**

**WWW.SEARCHINC.COM**

**JANUARY 2024**





## EXECUTIVE SUMMARY

This report presents the findings of a cultural resource assessment survey (CRAS) conducted in support of the improvements to State Road (SR) 16 in St. Johns County, Florida. The Florida Department of Transportation, District 2, is proposing improvements to SR 16 from International Golf Parkway to I-95. The proposed improvements include reconstructing the existing two-lane road to four lanes and adding multi-use paths. The project limits begin at International Golf Parkway and continue southeast, crossing over Turnbull Creek, to just west of Interstate 95. Proposed improvements will be constructed within the existing SR 16 right-of-way (ROW; no additional ROW is required.

The project area of potential effects (APE) was developed to consider visual, audible, and atmospheric effects that the project may have on historic resources. To account for the potential effects of the project on historic properties, the archaeological APE was defined to include the existing ROW where improvements are proposed. The architectural history APE included the existing ROW and was extended to the back or side property lines of parcels adjacent to the ROW or a distance of no more than 328 ft from the ROW line. In this document, the “APE” refers to the combined archaeological APE and architectural history APE.

Archaeological survey consisted of pedestrian survey and systematic shovel testing in portions of the APE not covered by previous cultural resource surveys meeting the Florida Division of Historical Resources (FDHR) recommendations, as stipulated in FDHR’s (2003) *Cultural Resource Management Standards & Operations Manual, Module Three: Guidelines for Use by Historic Preservation Professionals*. As such, archaeological testing for the current survey was conducted within untested portions of the ROW, and a total of 14 shovel tests were excavated. All shovel tests were negative for artifacts, and an additional 35 no-dig points were recorded where testing was not possible due to disturbance, buried utilities, or ground-surface inundation. No further archaeological survey is recommended in support of the SR 16 improvements project.

The architectural survey resulted in the identification and evaluation of 15 historic resources within the project APE, including four previously recorded resources. The previously recorded resources include four historic structures (8SJ04044, 8SJ05074–8SJ05076). Newly recorded resources include 11 historic structures (8SJ08214–8SJ08224). Based on the results of the current survey, one resource (8SJ08220) is obscured from the ROW and cannot be evaluated, and the 14 remaining resources lack the historical significance and architectural or engineering distinction necessary for NRHP eligibility.

No NRHP-listed or eligible cultural resources were identified within the project APE. No further cultural resources work is recommended.

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## INTRODUCTION

This report presents the findings of a cultural resource assessment survey (CRAS) conducted in support of the improvements to State Road (SR) 16 in St. Johns County, Florida (**Figure 1**). The Florida Department of Transportation (FDOT), District 2, is proposing improvements to SR 16 from International Golf Parkway to I-95. The proposed improvements include reconstructing the existing two-lane road to four lanes and adding multi-use paths. The project limits begin at International Golf Parkway and continue southeast, crossing over Turnbull Creek, to just west of Interstate 95. Proposed improvements will be constructed within the existing SR 16 right-of-way (ROW); no additional ROW is required.

The project area of potential effects (APE) was developed to consider visual, audible, and atmospheric effects that the project may have on historic resources. To encompass the project's potential effects to historic properties, the archaeological APE was defined to include the existing ROW where improvements are proposed. The architectural history APE included the existing ROW and was extended to the back or side property lines of parcels adjacent to the ROW or a distance of no more than 328 ft from the ROW line (**Figure 2**). In this document, the "APE" refers to the combined archaeological APE and architectural history APE.

The purpose of the survey was to locate, identify, and bound archaeological resources, historic buildings or structures, and potential historic districts within the project's APE and to assess their potential for listing in the National Register of Historic Places (NRHP). This study was conducted to comply with Public Law 113-287 (Title 54 U.S.C.), which incorporates the provisions of the National Historic Preservation Act (NHPA) of 1966, as amended, and the Archeological and Historic Preservation Act of 1974, as amended. The study also meets the regulations for implementing NHPA Section 106 found in 36 CFR Part 800 (*Protection of Historic Properties*). This study also complies with Chapter 267 of the Florida Statutes and Rule Chapter 1A-46, Florida Administrative Code. The work was performed in accordance with Part 2, Chapter 8, of the FDOT's Project Development & Environment (PD&E) Manual (revised July 2023), as well as the Florida Division of Historical Resources' (FDHR) recommendations for such projects as stipulated in the FDHR's *Cultural Resource Management Standards & Operations Manual, Module Three: Guidelines for Use by Historic Preservation Professionals*. The principal investigator for this project meets the *Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation* (48 FR 44716-42).

Jessica Fish, MSt, RPA, served as the principal investigator for this project, and Kate Willis, MPS, served as architectural historian. The report was written by Matthew Mele, BA, Kate Willis, MPS, Alyssa Costas, MHP, and Ashley Parham, PhD. The fieldwork was conducted by Kyle Marotz, BA, and Ryan Stevens, BA. Angelica Costa, BA, produced the field maps and report figures. Timothy Parsons, PhD, RPA, conducted the quality control review, and Charles Sterchi, MFA, edited the document.



Figure 1. SR 16 project location, St. Johns County, Florida.



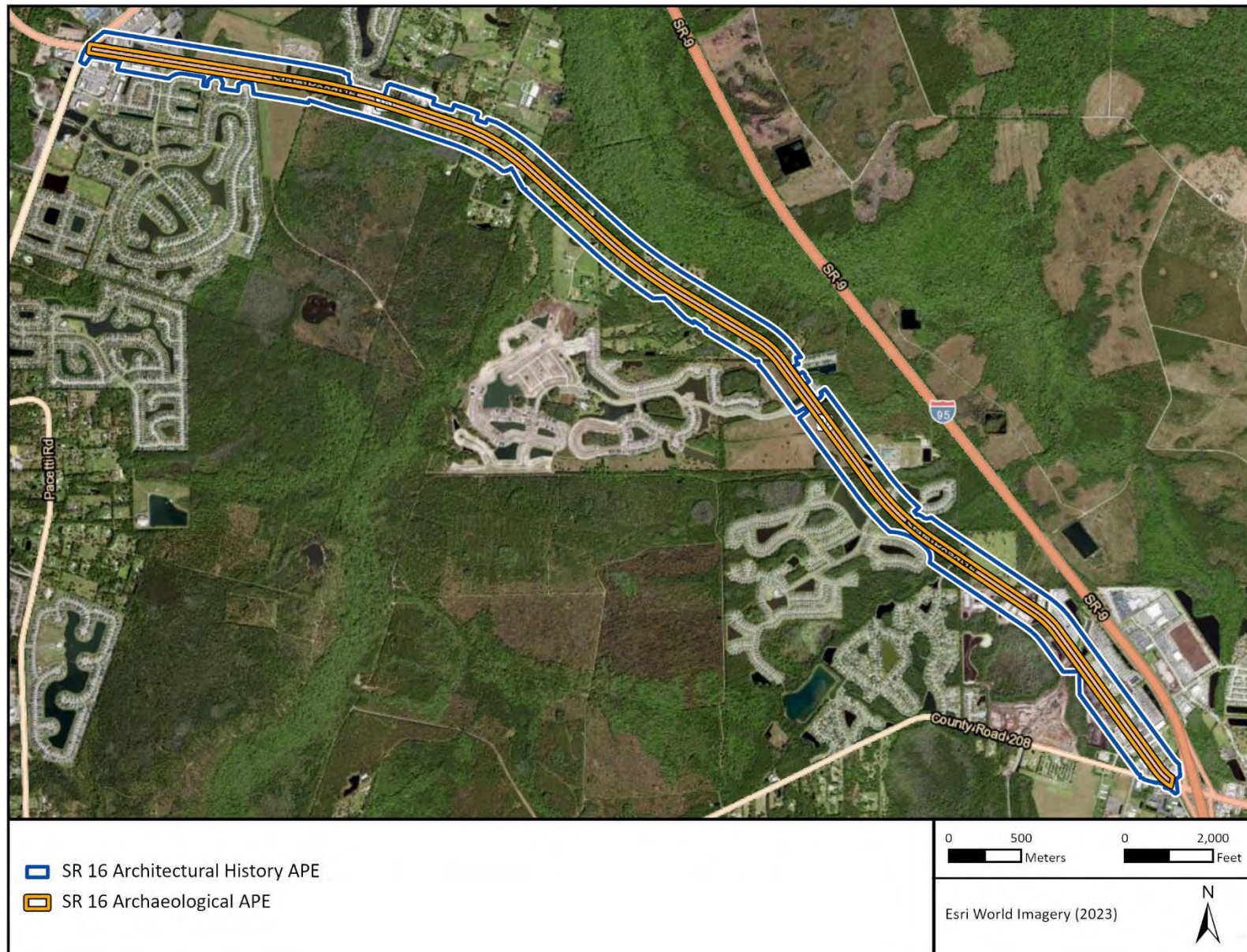


Figure 2. Aerial view of SR 16 APE.

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## PROJECT LOCATION AND ENVIRONMENT

### LOCATION AND MODERN CONDITIONS

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The project area is a 5.95-mile (mi) corridor in central St. Johns County, Florida, within Sections 25, 26, 26, and 38 of Township 06 South, Range 28 East; Section 31 of Township 06 South, Range 29 East; and Section 06 of Township 07 South, Range 29 East. Beginning at the intersection of SR 16 and International Golf Parkway, the project corridor follows SR 16 eastward, terminating just west of I-95. Several housing developments are located along the southern portion of the project corridor; smaller residential properties are scattered both north and south along the length of the corridor. There are commercial properties at the eastern and western ends of the corridor, while the parcels in the central portion are a mixture of agricultural land, timberland, and conservation easements between residential properties. The relatively flat terrain the corridor crosses consists of an elevation at an average of 26 ft above mean sea level (amsl), and it rises to a maximum of 46 ft amsl near the St. Augustine Premium Outlets Mall at the south end of the APE.

Geologically, the SR 16 APE is split between three physiographic provinces as defined by Brooks (1981). The westernmost segment of the APE falls within the Northern Coastal Strip Province, a landscape of terraces, ridges, and other erosional and depositional features created by fluctuations in sea level since the Pleistocene. The central portion of the APE falls within the Palatka Anomalies Province, which is associated with limestone erosion, stream diversion, and silty deposits from estuarine and lagoonal environments from the Plio-Pleistocene to recent times. The southern section of the APE falls within the St. Augustine Ridge Sets Province, a landscape of ancient beach ridges covered by flatwoods with cypress stands occupying the intermittent swales (Brooks 1981).

Soils within the APE vary from very poorly drained to somewhat poorly drained according to the United States Department of Agriculture Natural Resource Conservation Service (USDA NRCS) and the Web Soil Survey online resource (**Figure 3**). Most of the mapped soils within the project area are poorly drained; areas of somewhat poorly drained soils are limited to segments of higher elevation, while the areas of very poorly drained soils are in the segments with low elevation (USDA NRCS 2023). Somewhat poorly drained soils within the APE include Sparr fine sand and St. Augustine-Urban land complexes. Poorly drained soils within the APE include Riviera fine sand, Toco fine sand, Eaugallie fine sand, Holopaw fine sand, Ona-ona fine sand, Myakka-Myakka fine sand, Pottsburg fine sand, St. Johns fine sand, Winder fine sand, and Smyrna-Smyrna fine sand. Very poorly drained soils within the APE include Floridana fine sand, Placid fine sand, Holopaw fine sand, Pomona fine sand, Floridana fine sand, Wesconnett fine sand, Bakersville muck, and Tomoka muck. The project corridor crosses Turnbull Creek 0.32 mi southwest of Turnbull Drive.

## PALEOENVIRONMENT

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Between 18,000 and 12,000 years before present (BP), Florida was much cooler and drier than it is today. Melting of the continental ice sheets led to a major global rise in sea level (Rohling et al. 1998) that started from a low stand of 394 ft below current sea level at 18,000 BP. At that time, the temperature of the southeastern United States from North Carolina to Florida was roughly 12 degrees Celsius colder than it is today, and the climate was drier and windier (Watts 1980). The sea-level rise was slow while glacial conditions prevailed at high latitudes but intensified in the latest Pleistocene and earliest Holocene. The climate became much warmer and wetter during the next three millennia. Sea levels rose significantly between 12,000 BP and 8000 BP (Watts 1980). By about 9000 BP, a warmer and drier climate had begun to prevail. These changes were more pronounced in northern Florida and southern Georgia than in southern Florida, where the “peninsular effect” and a more tropically influenced climate tempered the effects of the continental glaciers melting far to the north (Watts 1969, 1971, 1975, 1980). Sea levels, though higher, were still much lower than at present; surface water was limited, and extensive grasslands probably existed, which may have large grazing mammals. By 6000–5000 BP, the climate had changed to one of increased precipitation and surface water flow (Watts 1969, 1971, 1975, 1980). By the late Holocene, ca. 4000 BP, Florida’s climate, water levels, and plant communities had attained essentially modern conditions. The small prairies and oak savannas gave way to species-rich pine forests (Watts and Hansen 1988). These have been relatively stable, with only minor fluctuations over the past 4,000 years (Watts 1971).



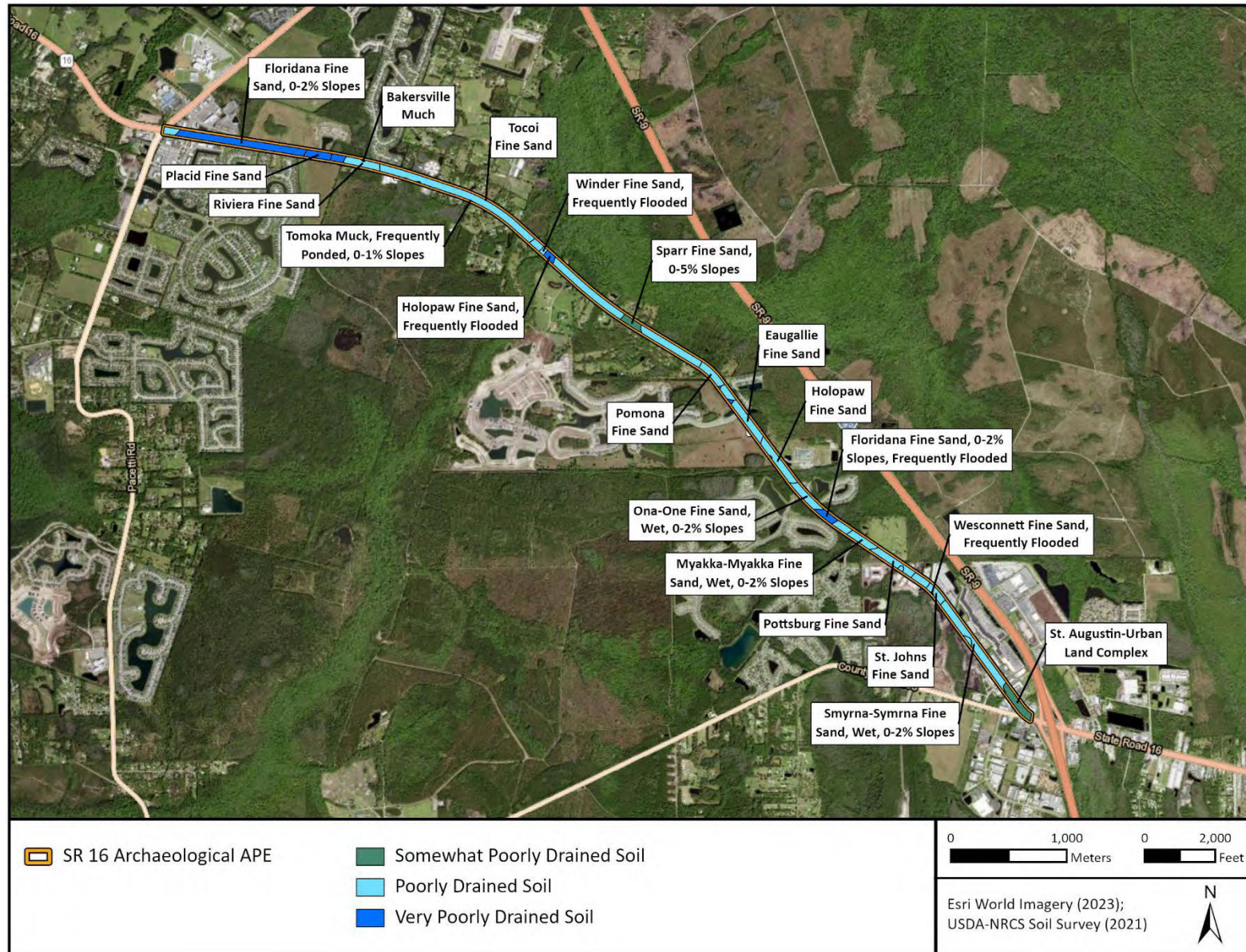


Figure 3. Mapped soils within SR 16 APE.

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## HISTORIC OVERVIEW

### NATIVE AMERICAN CULTURE HISTORY

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#### Paleoindian Period (12,000–10,000 BP)

The most widely accepted model for the peopling of North and South America argues that Asian populations migrated to North America over the Beringia land bridge that formerly linked Siberia and Alaska some 12,000 years ago (Smith 1986). However, archaeological data are mounting in support of migrations that date to before 12,000 years ago (Adovasio et al. 1990; Dillehay et al. 2008). Alternative pre-12,000 BP migration routes that have been hypothesized include populations traveling along the Pacific and Atlantic coasts using boats or following an exposed shoreline (Anderson and Gillam 2000; Bradley and Stanford 2004; Dixon 1993; Faught 2008; Fladmark 1979). These sites would now be inundated as a result of higher sea levels. Regardless of the precise timing of the first occupations of North and South America, current evidence suggests that Florida was not intensively inhabited by humans prior to 12,000 years ago. The best evidence for earlier occupation comes from the Sloth Hole and Page-Ladson sites in Jefferson County, where radiocarbon dates predating 12,000 BP have been obtained from levels containing lithic waste flakes but no diagnostic tool forms (Dunbar 2002, 2006; Hemmings 1999, 2004). Both sites are inundated river sites, and although the contexts are thought to be intact, there is a possibility of the downward movement of artifacts from the overlying artifact-bearing levels.

Twenty-four Paleoindian points are recorded in the Paleoindian Database of the Americas (PIDBA) from Columbia County (PIDBA 2018). Outside Columbia County, distinctive fluted Clovis lanceolate bifaces have been recovered from several rivers in northern Florida; only two sites have yielded Clovis points from excavated contexts: Silver Springs site in Marion County (Neill 1958) and the aforementioned Sloth Hole site in Jefferson County. It is from this latter site that the 11,050 BP date was obtained from a Clovis level.

Evidence for occupation of Florida during the subsequent Middle Paleoindian subperiod is much more secure. The diagnostic Suwannee and Simpson lanceolate bifaces are relatively common in northern and central Florida, and although no radiocarbon dates have been obtained in association with these artifacts, they are believed to date to sometime around 11,000–10,500 BP (Goodyear 1999). Two sites have yielded these point types in stratigraphic context: the Harney Flats site in Hillsborough County (Daniel and Wisenbaker 1987) and the Wakulla Springs Lodge site in Wakulla County (Tesar and Jones 2004). The final subperiod, the Late Paleoindian (10,500–10,000 BP), saw the production of both fluted and unfluted forms of Dalton projectile points elsewhere in the Southeast (Goodyear 1982), but evidence for a true Dalton phase in Florida is limited. Dalton points appear to be transitional between the lanceolate forms of the Early and Middle Paleoindian periods and the notched shapes of the Early Archaic period (Ledbetter et al. 1996). Shallow-notched forms, such as the Greenbriar point, may represent a Late Paleoindian manifestation in Florida.

The conventional view of Paleoindian existence in Florida has been that people during that time were nomadic hunters and gatherers in an environment quite different from that of the present. Excavations at the Harney Flats site in Hillsborough County (Daniel and Wisenbaker 1987) have altered this view, and many archaeologists now believe that Paleoindian people lived part of the year in habitation sites near critical resources, such as fresh water.

## **Archaic Period (10,000–4500 BP)**

Around 10,000 BP, the environment and physiology of Florida underwent pronounced changes due to climatic amelioration. These changes were interconnected and include a gradual warming trend, a rise in sea levels, a reduction in the width of peninsular Florida, and the spread of oak-dominated forests and hammocks throughout much of Florida (Milanich 1994; Smith 1986). Concomitant with these environmental changes were alterations in native subsistence strategies, which became more diverse due to the emergence of new plant, animal, and aquatic species. Also occurring at this time was a significant increase in population numbers and density, with native groups developing regional habitat-specific adaptations and material assemblages (Milanich 1994; Smith 1986:10). As conditions became wetter, coastal, riparian, and lacustrine adaptations became increasingly more common. Archaeologists typically divide the Archaic period into the Early, Middle, and Late subperiods.

In northern Florida, evidence of Early Archaic occupations usually consists of lithic scatters containing chipping debris from the manufacture of stone tools and occasionally projectile points and associated tool forms. The side- and corner-notched Bolen projectile point is the diagnostic tool form for the Early Archaic, and the type site at Bolen Bluff is on the south side of Paynes Prairie in Alachua County (Bullen 1958). The best dates for the Bolen phase of the Early Archaic are from the Page-Ladson site in Jefferson County, where radiocarbon dates from levels containing Bolen points range between 9697 and 10,000 BP (Dunbar 2006). Similar dates (9850–10,090 BP) also have been obtained from a Bolen component at 8LE02105 in Leon County (Hornum et al. 1996). Slightly more recent dates of 9285 and 9310 BP have been obtained from a Bolen pit feature at the Wakulla Springs Lodge site in Wakulla County (Tesar and Jones 2004). The climate during Bolen times was extremely arid (Dunbar 2002), and Bolen sites tend to be found in the same types of locations as Suwannee and Simpson sites (i.e., near sinkholes and springs where chert sources are available).

Windover Pond has proven to be the most crucial site for interpreting Early Archaic activities, as its saturated nature and prolonged physical stability have rendered exceptional preservation. There have been 168 human burials excavated from the pond, 91 of which have contained human brain matter, and thus some of the oldest human DNA ever examined. These burials were generally flexed and oriented in comparable positions to each other, signifying a possible spiritual or religious significance. The ratios of interred males to females and adults (more than 20 years old) to subadults were comparable, indicating that community members were treated similarly regardless of age or sex. Preserved stomach contents offered insight into diet. Wood and bone tools were preserved, and most of the burials were staked to the base of the pond and covered with elaborately produced woven fabrics. Environmental reconstruction was possible through

floral, faunal, palynological, and petrographic analysis, and the dates of the semi-domesticated bottle gourd (*Lagenaria siceraria*) were pushed back 3,000 years earlier than what was previously accepted (Doran 2002).

Middle Archaic points, such as Hardee, Sumter, Alachua, Putnam, and Newnan, are typically much more common than earlier examples (Smith and Bond 1984:53–55). As life became more settled during the Archaic period, an array of site types evolved that included residential bases, short-term settlements, specialized procurement camps, and cemeteries (Milanich 1994:75–85). Collectively, these comprised the regional settlement-subsistence system.

Until a few decades ago, most researchers had assumed that Middle Archaic populations resided within the inland river valleys of Florida, making only occasional trips to the Atlantic coast to procure resources. However, more recent studies along the Atlantic coast of Florida have convincingly demonstrated that sections of the Atlantic seaboard were occupied throughout the year by Middle Archaic groups (Bond 1992; Piatek 1994; Russo 1988, 1992a; Russo and Ste. Claire 1992; Sipe and Hendryx 2007; Ste. Claire 1990). Evidence in the form of shell middens has shown that permanent coastal groups were exploiting the estuarine resources of the Atlantic coast.

The trend toward increased sedentism and more circumscribed territories continued into the Late Archaic period, as environmental and climatic conditions approached those of today. The Late Archaic way of life along the coast was similar to that of the previous Middle Archaic period, with the economy centered on the exploitation of estuarine resources (Russo 1988, 1992a; Russo and Ste. Claire 1992).

A major technological innovation of the Late Archaic was the development of fired-clay pottery around 4200 BP. Referred to as Orange pottery by archaeologists, this early ceramic ware was tempered with vegetal fibers, either thin strands of palmetto or Spanish moss (Bullen 1972; Griffin 1945). Traditionally, manufacture of this ware was believed to have spanned approximately 1,500 years, with plain and decorated variants (e.g., incised and punctated types) undergoing periods of stylistic popularity (Bullen 1972). Recent radiometric analysis has shown that the production of fiber-tempered wares spanned a shorter interval, from about 4200 to 3500 BP (Randall and Sassaman 2005), with stylistic variability attributed to ethnic, sociopolitical, and functional factors more so than temporal trajectory (Sassaman 2003). With regard to vessel form, early pots were hand molded and tended to be thick walled, whereas some of the later vessels were thinner and formed by coiling. This transitional period is characterized by the emergence of ceramic traditions and the inception of limited horticulture. People who made fiber-tempered pottery lived along the Atlantic Coast between southern South Carolina and northern Florida. While fiber-tempered pottery is found sparingly throughout Florida, it is primarily recovered in the eastern and central portions of the state.

During the late Transitional period, more and more sand was added to the clay used to make pottery as a tempering agent. Eventually, this technique replaced the practice of using plant fibers as temper. Early sand- and grit-tempered pottery in northern Florida was produced by the people of the Deptford tradition. Another dominant pottery type is called St. Johns ware, which

was produced throughout northeastern Florida. Traditionally, this ceramic type was believed to post-date the fiber-tempered series (Bullen 1975); however, more recently it has been recognized as largely contemporaneous with the fiber-tempered Orange series (Sassaman 2003). St. Johns pottery contains microscopic sponge spicules, or exoskeletons, as an inclusion in the paste. This pottery is identified by its chalky feel, which results from the presence of the freshwater sponge spicules. Traditionally, it was asserted that these biosilicate spicule inclusions naturally occurred in clay deposits from which the Native Americans mined (Borremans and Shaak 1986; Cordell and Koski 2003); however, the argument that the spicules were intentionally added to non-spiculate clay (Rolland and Bond 2003) is gaining acceptance. Although some sand was added to this pottery, St. Johns ware lacks the fiber, sand, and grit inclusions that were typically added as tempering agents to precontact pottery. Deptford and St. Johns pottery were produced during overlapping periods and are often recovered in association with each other.

## **Woodland Period (2800–700 BP)**

In northeastern Florida, there are marked cultural distinctions between precontact sites in various geographic settings. Essentially, cultural manifestations along the coastal strand vary from those documented along the St. Johns River, especially those locations south of downtown Jacksonville, where the water salinity level was too low to support oyster populations. Many archaeologists working in the region continue to utilize Milanich's (1994:xix) "East and Central Florida" region classification; however, it is becoming increasingly apparent that this classification cannot be used in northeastern Florida. Essentially, the East and Central Florida region, which is applicable to the St. Johns River heartland south of the current project area, includes a chronology that has the Late Archaic Orange-period culture developing directly into the St. Johns tradition, with the latter spanning the Woodland and Mississippian periods. Yet there is no evidence to support the notion that St. Johns developed from Orange in northeastern Florida. There are essentially five Woodland ceramic periods recognized in northeastern Florida: Deptford, St. Johns I, an enigmatic sand-tempered plain "period," Swift Creek, and Colorinda.

Deptford manifestations (2800–2000 BP) for the broader Atlantic Coast region date from about 2800 to 1300 BP (Stephenson et al. 2002) but may not occur in northeastern Florida until after 2000 BP (Kirkland and Johnson 2000:213–217). Although relatively little research has focused on the Deptford-phase occupations of northeastern Florida, Deptford sites are apparently more common near the mouth of the St. Johns River than farther upstream. Sites of this period are recognized by coarse sand- and grit-tempered pottery assemblages containing plain, check-stamped, and simple-stamped types (Ashley 2008). Milanich (1971, 1973, 1980) posits that Deptford groups were prevalent along the Atlantic coastal strand but moved inland seasonally to the river valleys to supplement their diets with plant foods and game and to trade with noncoastal people. Community organization is believed to have been composed of bands of 30 to 50 kin-related individuals who lived in small settlements containing 10 to 15 houses, each of which consisted of a single nuclear family (Milanich 1971). Site types of this period have been described as sand burial mounds, consolidated shell middens, and shell scatters (Russo et al. 1993; Sears 1957, 1959).

The St. Johns tradition (2500–1200 BP) is most noticeable in archaeological assemblages by the presence of a “chalky” pottery that derives its unique feel from the inclusion of sponge spicules, as detailed above (Borremans and Shaak 1986). The people who produced St. Johns ceramic ware seem to have been descendants of those who produced the fiber-tempered pottery during the Late Archaic period, based on the appearance of St. Johns pots that exhibit designs similar to those seen on Orange-period pots. Moreover, sites have been documented that contain pottery fragments tempered with fiber and sponge spicules (Cordell 2004; Sipe and Hendryx 2005). To date, only one St. Johns I site has been identified in northeastern Florida, the Wood-Hopkins Midden (8DU09185), located about 9.3 mi west of the St. Johns River mouth in the vicinity of Dames Point (Johnson 1994). This site has been touted as the only freshwater snail midden in northeastern Florida (Ashley 2003, 2008).

After about 2000 BP, sand-tempered plain pottery dominates Woodland period assemblages in northeastern Florida. From 2000 to 1700 BP, assemblages almost exclusively consist sand-tempered plain pottery, with only occasional occurrences of check and complicated stamping. Although it is not a formally named ceramic period, Sears (1957) and other researchers (Ashley 1998, 2003:74; Hendryx and Wallis 2007; Russo 1992b:115; Wallis 2004:271) have documented and referred to this “Sand-Tempered Plain Period” in northeastern Florida that seems to postdate Deptford occupations. Because plain pottery also persisted in high frequencies throughout the following Swift Creek and Colorinda ceramic periods, recognizing sand-tempered plain pottery as an earlier component at Woodland sites sometimes proves difficult.

Swift Creek pottery was produced between 1650 and 1100 BP. Local Swift Creek pottery traditionally was believed to represent minority trade wares (Goggin 1952), but more recent recognition of its dominance at numerous mound and midden sites in the region suggests local manufacture (Ashley 1992, 1998; Ashley and Wallis 2006; Russo 1992b; Wallis 2004). From a regional perspective, the production and exchange of Swift Creek pottery seem to have connected diverse social groups. In northeastern Florida, paddle matches and similarities in vessel morphology and design indicate interaction with populations in coastal Georgia and the Florida panhandle. Recent research has resulted in a local differentiation of Early (1650–1350 BP) and Late (1350–1100 BP) Swift Creek, corresponding with the diagnostic traits of charcoal tempering and notched, scalloped, and ticked rims in the former and folded rims in the latter (Ashley 1992, 1998; Ashley and Wallis 2006). The eventual breakdown in the popularity of complicated stamping, which may have been concomitant with other social changes, occurred sometime during the late ninth and early tenth centuries and has been referred to as Waning Late Swift Creek (Ashley 2003; Ashley and Wallis 2006; Hendryx 2005).

The Swift Creek phase remains a period better suited to in-depth archaeological study than many other phases due to the unique complicated-stamped pattern applied to many of the pots. The distinguishable paddle-stamped designs offer researchers an opportunity to gain insight into the native groups that produced these paddles and pots. Many of the stamped designs appear to represent cosmological symbols, while others appear to be flowers, serpents, birds, insects, and other floral and faunal designs (Snow 1998:63). Careful analysis and recordation of design elements have led to the identification of exact paddle matches (Ashley and Wallis 2006; Snow

1975, 1977, 1998), whereby recognition of artisan mistakes or cracks in the wooden paddle have enabled researchers to address questions of mobility and trade. While many direct paddle matches have been recognized across broad areas during the past few decades, two mound sites in Duval County have produced sherds that were made with the same paddle as other sherds found more than 62.1 miles to the north near the mouth of the Altamaha River in Georgia. These two Duval County mounds, Dent and Mayport, have yielded more than 100 and 50 human burials, respectively; interestingly, neither of these mounds is near a documented village, signaling that their locations may represent meaningful places on the landscape where kin groups periodically amalgamated for feasting, ceremony, and interment of the dead (Ashley and Wallis 2006).

The Colorinda ceramic period (1150–1050 BP) was brief and is thought to have spanned the ninth century AD (Ashley 2006). Colorinda pottery is characterized by the use of macroscopically visible (about 2.0 to 6.0 millimeter) crushed St. Johns sherds as temper, although sand-tempered sherds were occasionally used as well (Ashley 2006:91). The Colorinda ceramic type consists almost exclusively of undecorated sherds, with limited exceptions; however, the ceramic series also contains high incidences of sand-tempered plain, quantifiable amounts of St. Johns Plain, and light incidences of St. Johns Check Stamped (Ashley 2006; Hendryx and Wallis 2007). Very few sites of the period have been documented, and the bulk of these are associated with coastal maritime hammock settings that contain shell middens. An exception is the Tillie Fowler Site, located on a high bluff above the fresh waters of the St. Johns River (Hendryx and Wallis 2007). Sites of this period are more common in the northern part of Duval County and into Nassau County.

## **Mississippian Period (1200–385 BP)**

Greater levels of socio-complexity and far-flung interactive networks were active at the onset of the Mississippian period (Milanich 1994), which is locally divided into two sequential phases: St. Johns II and St. Marys II (Ashley 2003). St. Johns II and St. Marys II sites are each most prevalent close to the mouth of the St. Johns River.

St. Johns II sites (1200–385 BP) are easily recognizable by the occurrence of sponge-spiculate pottery fragments exhibiting check-stamped surface treatment. During this phase, sand burial mounds increased in use, some being quite large and ceremonially complex, including truncated pyramidal mounds with ramps or causeways leading to summits. To date, 12 St. Johns II village sites have been documented in “northeastern” Florida (Ashley and Hendryx 2007), which is a cultural area geographically defined as Nassau, Duval, and northern St. Johns Counties (Ashley 2008). Ten of these villages have burial mounds; the other two may also have contained such constructs, but land development and citrus cultivation have likely led to their destruction.

The Mill Cove Complex has offered significant insight into the St. Johns II phase. This site contains two mounds (named Shields and Grant) on the southern bank of the St. Johns River, just west of the Dames Point Bridge. The two mounds are 2,460.6 ft apart, and both have yielded numerous burials and exotic artifacts. Although most Mississippian groups throughout the Eastern Woodlands were agrarian and exhibited a high level of social stratification, the level of social

inequality appears to be much less among the Early Mississippian St. Johns occupants of this region. Subsistence was dominated by fish and shellfish (mostly species from the marsh and tidal slough), and although some status differentiation is inferred, it is much less pronounced than throughout the remainder of the Mississippian world. However, despite differences between the St. Johns II fisher-folk and the hierarchically stratified Mississippian groups of the interior United States, the local inhabitants were certainly involved in far-flung exchange networks that helped them acquire exotic items from broad distances (Ashley 2005).

In addition to high-profile display goods, other more utilitarian, non-local items also made their way into northeastern Florida. Of primary significance is Ocmulgee Cord Marked pottery, which is recovered in at least modest amounts at many St. Johns II sites north of St. Johns County (Ashley 2000). Ocmulgee Cord Marked forms originated in the Lower Ocmulgee River valley in south-central Georgia during the Late Woodland, and their presence in northern Florida implies intensive interaction between local St. Johns II groups and Ocmulgee peoples of south-central Georgia. The territory of the Ocmulgee groups may have been important to the St. Johns II peoples in that it would have provided river access into the interior of Georgia, where Mississippian chiefdoms were located. Thus, Ocmulgee groups may have served as middlemen in securing copper and other exotics from upriver chiefdoms, such as the one at Macon Plateau, and passing these goods on to St. Johns II societies in northeastern Florida (Ashley 2002).

With items coming into northeastern Florida, it is likely that goods were going out. The primary export may have been whelk shells, which are found at many Mississippian mound sites in the interior Southeast. It is conceivable that northeastern Florida Native American groups benefited from the demand for whelk shells among southeastern native elites during the early Mississippian period.

St. Marys II sites (700–450+ BP) are identified by the occurrence of ceramics that are sand-tempered plain, cord-marked, complicated-stamped, check-stamped, and sometimes burnished. The culture was formerly classified as Savannah and believed to have spanned a 700-year period from 1150 to 450 BP; however, recent radiometric analysis has reduced the temporal interval. More specifically, cord-marked pottery in northeastern Florida was almost invariably interpreted as either imported Savannah ware or a local variant of the coastal Savannah series. However, it now appears that the cord-marked pottery, ubiquitous on late precontact northeastern Florida sites, was a local product manufactured by immigrant Ocmulgee groups from central Georgia (Ashley 2000, 2002). To underscore its local production and specific chronological placement, and to divorce it from the Savannah culture of the northern Georgia coast, the term *St. Marys II* has been introduced as a replacement for what was typically referred to as *Savannah* in northeastern Florida (Ashley 2000, 2002). St. Marys II sites are found primarily in Duval and Nassau Counties, Florida, and Camden County, Georgia.

Habitation sites of the St. Marys II phase often include discrete shell-midden heaps that range in size from about 6.6 to 49.2 ft in diameter, with each likely representing consolidated refuse from an individual household. In some instances, these midden scatters have been found to cover areas as great as 20 acres; however, it is speculated that many of the heaps are not

contemporaneous but likely represent intrasite shifting of households (Ashley 2003). At the Brady Point site (8NA00910) in Nassau County, a concentration of seven shell heaps was identified, which were between 82 and 164 ft from one another (Hendryx et al. 2004); this distribution seems typical of other such sites found along the mainland or the barrier islands.

## **Contact Period (post-437 BP; post-AD 1513)**

This period includes the time after the first written accounts of the Native Americans were made. The initial period is often referred to as “protohistoric,” a period when European and Native American interaction was limited, as were the historic accounts. This period also includes the period of Spanish missionization, an interval that lasted more than 200 years, and then covers the nineteenth-century period, including the in-migration of the Seminoles.

The St. Johns IIc (437–385 BP [AD 1513–1565]) represents the protohistoric period in northeastern Florida and is characterized by the introduction of European artifacts. Prior to the founding of St. Augustine by Pedro Menéndez de Avilés in 1565, the Spaniards made several forays into Florida, beginning with Juan Ponce de León in 1513. Except for the intermittent exposure to European goods and diseases, St. Johns IIc seems to represent a continuation of the earlier St. Johns II period. Items such as glass beads, European pottery, hawk’s bells, mirrors, metal hoes, axes, and chisels have been recovered in association with St. Johns IIc burials. Other metals such as copper, silver, and gold also were acquired and reworked by native artisans.

French and Spanish documents offer glimpses into the lives of the indigenous populations of coastal northeastern Florida at the time of Spanish contact. The Native American groups that inhabited the northeastern coastal regions at the time of French contact (1562) were members of one of several Saltwater Timucua groups that inhabited the Atlantic coast from central Florida north to the Altamaha River in Georgia (Deagan 1978; Goggin 1952; Hann 1996; Milanich and Fairbanks 1996; Swanton 1922). The territory around modern-day Jacksonville was controlled by a Timucua chief named Saturiwa, whose village was at the mouth of the St. Johns River.

The San Pedro phase spans about 500–300 BP (AD 1450–1650), and these sites are identified by the occurrence of grog-tempered pottery that contains an array of surface treatments (e.g., check stamping, cob marking, cord marking, complicated stamping, plain, incised, and textile impressed) (Ashley 2001; Hendryx et al. 2000). Although researchers have commented on its occurrence since the middle of the twentieth century (e.g., Bullen and Griffin 1952; Hemmings and Deagan 1973), it was only recently that the ceramic type was formally classified (Ashley and Rolland 1997). Sites of the period have been documented along the coast from Camden County, Georgia, to St. Johns County, Florida, and their occurrence has been attributed to movement between Timucua-speaking groups traveling between Spanish-protected boundaries and the main Spanish settlement in St. Augustine (Ashley and Rolland 1997).

During the Mission period, most Native American groups in the area were producing San Marcos-type pottery, a grit-tempered ceramic produced by Guale Indians from the Georgia coast, who moved to the vicinity of St. Augustine to participate in the Spanish Franciscan mission program



and to contribute to the labor force. San Marcos ceramics are often decorated, and line blocking, complicated stamping, and simple stamping represent common surface decorations; however, many specimens are undecorated (Larson 1978; Otto and Lewis 1974; Saunders 2000; Smith 1948). This ware is analogous to the Altamaha ceramic series of coastal Georgia; each type evolved from the Mississippian Irene series of the Georgia coast (Saunders 2000).

In an attempt to convert the local Native Americans to Christianity, the Spanish established a series of Franciscan missions between St. Augustine and Tallahassee. Cattle ranches were established as a way of supporting the missions and the colonists in St. Augustine. After the destruction of the mission system by the British in 1702, northern Florida was essentially abandoned as remaining Native American people fled to St. Augustine for safety (Milanich 1995). Warfare and disease had devastated native populations in Florida. Groups of Creek Indians began to move south into Florida from Georgia and Alabama after being pushed off their lands by European pressure and inter-Creek warfare. These people settled in Spanish Florida and utilized some of the feral cattle abandoned by the Spanish 50 years before. They later became known as the Seminoles.

## POSTCONTACT HISTORY

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### Early Exploration (1513–1564)

This historic context presents an overview of St. Johns County from the early period of European contact to recent times. Florida was important to early European explorations of North America. Juan Ponce de León left Puerto Rico on March 3, 1513, and on April 2, 1513, landed either north of Cape Canaveral (Brevard County) (Milanich 1995) or south of the cape near modern-day Melbourne Beach (Brevard County) (Gannon 1996). Both landing spots are significantly south of present-day St. Johns County. Although the area had been inhabited for thousands of years by Native Americans, Ponce de León claimed to have discovered Florida. He called this land La Florida, as his men sighted it during the Feast of Flowers (Pascua Florida) (Milanich 1995). Most of the Spanish explorers who immediately followed, including Pánfilo de Narváez, in 1528, and Hernando de Soto, in 1539, landed on and explored the gulf coast of Florida, trekking inland and northward to map the newly claimed territory (Gannon 1996).

Though Spanish explorers, especially Ponce de León, may have sailed near St. Johns County, the Spanish made no attempt to settle the region until the 1560s. French Huguenot Jean Ribault led the first notable exploration of the area. Ribault landed near St. Augustine in 1562 before traveling north to the St. Johns River (in present-day Duval County) and erecting a marble column to claim the land for the French. Ribault continued northward and built a fort called Charlesfort at Port Royal in present-day South Carolina. Another Frenchman, René de Laudonnière, established Fort Caroline at the mouth of the St. Johns River in 1564. These settlements alerted the Spanish to the growing French presence in the region, and King Philip II authorized a stronger Spanish presence on the Atlantic coast. Philip II sent Pedro Menéndez de

Avilés, who captured Fort Caroline (renamed San Mateo) and set up the first permanent Spanish settlement at St. Augustine (St. Johns County) in 1565. Menéndez's many travels secured the territory for Spain and warded off French interests in the peninsula. His attempts to rid the area of French influence and to establish coastal settlements also took him inland to Central Florida, but settlement focused on St. Augustine (Lyon 1996).

## **First Spanish Period (1565–1762)**

Early Spanish settlements in Florida concentrated on the coasts and the northern half of the peninsula. Menéndez had been ordered by the King Philip II to implement a massive missionizing effort among the Native Americans. He petitioned the Jesuit Order for missionaries, and they arrived in St. Augustine in June 1566 (Thomas 1990). The Jesuits focused their efforts on the native villages around St. Augustine, along the lower St. Johns River, and among the Guales and Oristas who lived farther north. The Spanish established some of the earliest missions, such as Nombre de Dios and San Sebastián, just outside St. Augustine to Christianize natives, whom they also often recruited to labor (Milanich 1999). The Spanish created a line of missions that linked St. Augustine on the east coast to Apalachee province on the panhandle.

The St. Johns River, whose mouth is just north of present-day St. Johns County, was a major entrance to Spanish Florida, and as a result, the French and English focused their attacks on the area. Seeking revenge for the Spanish having taken Fort Caroline, and for the execution of Jean Ribault, Dominique de Gourgues attacked San Mateo and burned it to the ground in 1568. However, he did not attempt to remove the Spanish from St. Augustine. Growing English interest in the Americas brought Sir Francis Drake to the Florida coast, where he attacked and raided the Spanish at St. Augustine in 1586 (Lyon 1996). At the time, St. Augustine had a small garrison and several wooden forts to protect it. While St. Augustine was an important entry point and a connection to the trade and mission networks of the Spanish North American empire, it was also a military fortification designed to protect that empire from other European interests. In response to an attack from Robert Searle, an English privateer, in 1668 and to increased English settlement along the Atlantic coast, Spain improved fortifications at St. Augustine. The Crown authorized construction of an impressive stone fort, Castillo de San Marcos, in the 1670s. Largely thanks to forced native labor, this fortification helped firmly establish Spain's presence in St. Johns County by the turn of the eighteenth century (Bushnell 1996). By 1702, around 1,700 Spaniards called St. Augustine home; the original colonial city bordered present-day Avenida Menéndez/SR A1A in the east and Cordova Street in the west (Arnade 1996; Primelles 1970).

## **British Colonial Period (1763–1783)**

As Britain's presence continued to grow rapidly in the North American colonies throughout the seventeenth and early eighteenth centuries, the Spanish found their settlements in Florida in danger. English raids into Spanish territory were not uncommon. These raids included attacks on St. Augustine in the 1740s, and the British colonists encouraged Native Americans to attack Spanish holdings in Florida. At the end of the Seven Years War (1754–1763), Spain traded Florida to Britain in exchange for Cuba (Arnade 1996). The British divided their new acquisition along the

Apalachicola River into East and West Florida. British East Florida included present-day St. Johns County, with its capital at St. Augustine. Britain took possession of Florida in July 1763 and held control until 1783 (Wright 1975).

The British replaced Spain's mission system with a network of several trading posts in Florida. During this time, the North Beach area, which consisted of the barrier islands between Vilano and Ponte Verde Beaches, was considered "almost useless ground" (Romans 1999[1775]). Also, during this time, people who had escaped slavery in the Carolina colonies fled to Florida and sought refuge either in Fort Mose, a Black colony outside St. Augustine, where they became farmers and occasionally soldiers, or in Native American settlements in Florida's interior. Native Americans, especially Seminoles, helped the runaways form their own settlements and often prevented their recapture (Fairbanks 1975).

During Britain's control of Florida from 1763 to 1783, the colony became an asset (Schafer 2000). British subjects established several successful plantations, including Governor James Grant's Mount Oswald, in present-day St. Johns County (Schafer 2000). The British government also sponsored the development of the King's Road, the first substantial highway in the peninsula, traces of which are still evident in St. Johns County. Completed in 1775, the road stretched from New Smyrna (Volusia County) to the St. Marys River (Nassau County). The road connected St. Augustine with points northward and southward, providing a land alternative to sea travel. From commercial and military standpoints, the 150 mi road, which cut directly through present-day St. Johns County, proved critical. The road continued to serve as a major corridor in the region into the second Spanish and early American periods. Sources refer to the road as the "Road to Jacksonville" or the "Road to St. Augustine" (Adams et. al 1997; Coomes 1975; Ward 1985:63–64).

## **Second Spanish Period (1784–1821)**

The American colonies declared their independence from Britain in 1776. Georgia and South Carolina required their citizens to take a strict oath of loyalty to the cause of the American colonies, thus forcing many British loyalists to seek shelter in British Florida (Wright 1975). In 1778 alone, 7,000 loyalists arrived in Florida via the King's Road. Upon arriving in St. Augustine, they built temporary shelters made of planks, split logs, wattle, and daub. These structures, with their palm-thatched roofs and earthen floors, were very different from the solid coquina buildings of the Spanish (Tanner 1963:30). The American army made three forays into East Florida during the Revolutionary War. These efforts did little to weaken the British position in East Florida (Boatner 1992:72). In 1783, the Treaty of Paris ended the American Revolution and returned Florida to Spain. St. Augustine remained the capital of East Florida under the Spanish. British loyalists and escaped enslaved people continued to find refuge in Florida. The combination of these groups, along with free Blacks, Spanish officials, Cuban soldiers, and others, made Spanish East Florida exceptionally diverse for the period. Additionally, the Spanish Crown granted land to settlers from the colonies (Coker and Parker 1996).

Beginning in the eighteenth century and continuing into the early nineteenth century, members of several southeastern tribes relocated to what is now the State of Florida. By the early nineteenth century, Europeans referred to them collectively as Seminole. Hunting, fishing, agriculture, and trading became the mainstays of their livelihood (Weisman 2000). The Seminole included formerly enslaved African Americans who possessed valuable agricultural knowledge and spoke Native American languages and English. The issue of accepting people who had escaped slavery into the Seminole nation fueled tensions between Americans in the southern US (who opposed the relationship between formerly enslaved African Americans and Seminoles) and the Spanish in East Florida (who accepted it) (Gannon 1996). During the resulting conflict, known as the First Seminole War, Andrew Jackson led a punitive mission against the Seminole and invaded Spanish Florida. These campaigns attacked several key Seminole locations and forced the tribe further south into Florida. The conflict also successfully pressured Spain to transfer all of Florida to the US. The Adams-Onís Treaty, signed in 1819 and ratified in 1821, transferred East Florida and West Florida to the United States; the United States combined them into one territory (Coker and Parker 1996; Tebeau 1980).

## **American Territorial Period (1821–1845)**

The first territorial governor of Florida, Andrew Jackson, created St. Johns County as one of the two original counties in 1821. St. Johns County encompassed most of the state to the Suwannee River. The county's size diminished over the rest of the decade as the government carved 13 new counties from the original two (Schafer 1996). The Second Seminole War (1835–1842) played a notable role in the history of the county because it brought hundreds of troops to St. Augustine, which routinely served as a base of military operations. In the St. Augustine area, the Seminole ransacked the plantation complex of East Florida in February of 1836. News of the massive raid in East Florida circulated widely (*Niles Weekly Register*, 20 February 1836). In 1837, the controversial capture of Seminole leader Osceola under a white flag of truce occurred in St. Johns County near present-day Elkton (Mahon 1967). The aftermath of the war left St. Johns County in disrepair, but planters and small farmers alike set about restoring their society.

The counties in Middle and West Florida drew many more settlers than those in East Florida. Of the East Florida cities and counties, St. Augustine and St. Johns County remained the most populous in the territorial period. However, by the 1840s, Jacksonville (Duval County) had begun to grow rapidly and overtook St. Augustine in size (Schafer 1996). When the issue of statehood arose in the 1840s, the leadership of East Florida (including St. Johns County) opposed the move on the grounds of their geographic and ideological separation from the more settled areas of Middle Florida (today's Leon, Madison, and Suwannee Counties) (Tebeau 1980). Nevertheless, Florida entered the Union as one state in 1845.

## **Early Statehood and Civil War (1845–1865)**

Investors and developers focused on connecting Florida via railroad in the early years of statehood. Multiple lines connected the various portions of the state, from the northeast corner to the panhandle. Unfortunately, St. Johns County did not directly benefit from these new rail

systems because none of the initial lines entered the county. The Florida Railroad chose Fernandina (Nassau County) as its eastern starting point, and the Florida, Atlantic, and Gulf Central Railroad opted for the growing city of Jacksonville (Duval County), both north of present-day St. Johns County. While the communities in St. Johns County undoubtedly benefitted from the new connectivity of the railroads, the lack of a direct line meant more growth for other counties (Schafer 1996).

Florida seceded from the United States and joined the Confederacy in January 1861. Most of Florida's involvement in the Civil War (1861–1865) was confined to coastal regions, where Union forces raided and occupied Florida communities at will. In St. Johns County, military action focused on St. Augustine, given its long history of military fortifications. Additionally, the interior of the county had no sizeable towns or populations of military interest. However, ports in the South played an important role in the Union war effort, and the Union Army focused on coastal towns like St. Augustine, Jacksonville, and Pensacola. Union forces captured St. Augustine easily in the first years of the conflict, with little resistance from Confederate forces. St. Augustine remained under Union control for most of the war. In April 1865, Confederate General Robert E. Lee surrendered to Union General Ulysses S. Grant, and a week later, occupied towns in Florida received word. The official surrender of Florida came soon after, and by May 10, Union forces occupied Tallahassee (Brown 1996; Tebeau 1980).

### **Late Nineteenth Century (1865–1899)**

Following the Civil War, St. Johns County entered a long period of peace and relative stability. St. Johns County, except for St. Augustine, remained rural, agricultural, and considerably undeveloped. By the 1870s, a primitive railroad connected the St. Johns River landing of Tocoï to St. Augustine. The railroad primarily shuttled tourists to and from the old city. According to local legend, a stranger to the area once asked a local how people in the city made a living, to which the local replied “from sweet taters and sick Yankees” (Graham 1978:133). These “sick Yankees” represented the beginning of the industry that keeps the city afloat in the present day. Known as “invalids,” they traveled to St. Augustine to take in the historic atmosphere and explore the cultural setting (Hallock 1876:118). In the rest of the county, agriculture expanded in the late nineteenth century as new communities, such as Fruit Cove (founded 1871), emerged and old, scattered settlements, such as Moccasin Branch, thrived (Harvey 1980; Webb 1885).

The vast change that Henry Flagler effected in Florida began in St. Johns County. Flagler's company purchased, improved, and extended the railway that connected St. Augustine to Jacksonville in the 1880s. In 1888, Flagler purchased another railroad in the county, the St. Johns and Halifax River Railway Company, which stretched from St. Augustine southwestward to Palatka. In addition, dissatisfied with the accommodations he found in St. Augustine, Flagler built the Hotel Ponce de León (present-day Flagler College) and the Alcazar Hotel in St. Augustine in 1885 and 1888, respectively (Graham 2005; Schuck 1970). The impact of Flagler's enterprises is evident in the population surge that nearly doubled the county's population between 1880 and 1890 (Proctor 1996).

St. Johns County capitalized on its fertile soils and vast timber stands at the turn of the twentieth century (Works Progress Administration [WPA] 1939). These same industries, along with tourism and the comparatively recent elevation of the county to the status of a residential center, sustain the county in the present. Flagler also helped build the area's first hospital, opened in 1890 and later named Flagler Hospital (Adams 1993). Additionally, in 1890, the first bridge was constructed to bring visitors and residents to the North Beach area. On the mainland, the bridge connected with the existing Jacksonville, St. Augustine and Halifax Railway line (O'Hara 2015). Around this time, the first permanent settlers moved into the North Beach area. The Ursinas and the Capos families operated ferry services for visitors from St. Augustine (Browning et al. 2015; McGuinness 2010).

## **Early Twentieth Century and Great Depression (1900–1940)**

St. Augustine matured into a tourist destination for healthy northerners during the early twentieth century. Numerous docks and shipyards lined its shores. Fishing vessels of different sizes, including shrimp boats, plied the river (Graham 1978:222). Trolleys, the latest means of transportation through the city, rolled across the King Street Bridge in the early 1900s (Ridolph 1987:94). The trolley also connected old St. Augustine with the growing community known as New Augustine, which emerged to the west of the San Sebastian River in the early nineteenth century (Federal Writers' Project 1937:33).

During the 1910s and 1920s, the number of automobiles in the state and nation increased (Federal Highway Administration 1977). Prior to 1924, only 1,204 kilometers (748 miles) of hard-surfaced road existed in the state (Gold 1927). By 1928, this number had grown to 2,556 kilometers (1,588 miles) with an additional 95 kilometers (59 miles) in the process of being paved (Jackson 1992; Kendrick 1964; Tebeau 1980). The new roads opened areas previously without public transit links, and many locations opened motels and businesses to profit from tourists arriving by car. Additionally, residents in the more rural areas of St. Johns County took advantage of automobiles. During this period, Mill Creek resident E.E. Fisher used a Model-T to shuttle students to the one-room Mill Creek School, built in 1914 (Mill Creek Academy n.d.).

The tourism industry was crucial to St. Augustine throughout the twentieth century. In 1914, a destructive fire swept across the city, but it spared many historic buildings. During the 1920s, new structures appeared along present-day SR A1A, including the Bridge of the Lions (Primelles 1970; Steinbach and Paarlberg 1982). As development along the east coast grew, so did the city's Florida East Coast Railway facilities. St. Augustine's population nearly doubled between 1920 and 1930 (Graham 1978:219–222). However, this period of growth was followed by over a decade of economic depression (Graham 1978:219–222).

During the Great Depression, many hotels closed, including the Alcazar Hotel (Schuck 1970). St. Augustine's main employer, the Florida East Coast Railroad, went into receivership in 1931, straining citizens of St. Augustine further (Bowen and the St. Augustine Historical Society 2019). However, this era also saw the establishment of committees to preserve St. Augustine's historic buildings and other places. The WPA sent workers to the city to collect oral histories from

longtime residents and create a guidebook for the country's oldest continually occupied settlement (WPA 1939).

## **World War II and Recent History (1941–Present)**

The United States' entry into World War II in 1941 brought significant changes to St. Johns County. Though combat remained largely confined to Europe and the Pacific, German U-boats patrolled the Atlantic Ocean off the coast of the US, attacking and sinking more than 20 ships in early 1942. Floridians and the US government feared an invasion. Additionally, the military commandeered coastal beach towns across the state, including those in St. Johns County, to house and train soldiers (Mormino 2005). The Hotel Ponce De Leon hosted fundraisers for British relief efforts prior to US involvement. After the 1941 attack on Pearl Harbor stifled tourism in the city, the US Coast Guard leased the hotel as a training facility. St. Francis Barracks experienced a new level of activity. Civilians routinely watched for U-Boats, and homes along the coast used blackout curtains and turned off outdoor and car lights (Browning et al. 2015). In an event that provided closure to the momentous war, the local Pilots Club dedicated a memorial to fallen St. Johns County troops in 1946 on Charlotte Street (Coles and Gregory 2005:24–25).

Along with the rest of the state, St. Augustine experienced new growth as a result of the improved economic condition of the country. The popularity of Florida's east coast beaches brought large waves of tourists who often passed through the city en route to their destination. The San Sebastian River Bridge, constructed in 1960, appeared within this context of increased travel into the city. Signs of St. Augustine's varied past, such as the Castillo de San Marcos and Flagler's hotels, continued to attract tourists in the 1960s. Set against this backdrop was a historical remnant of a different sort that became a target for demolition rather than preservation in this decade—segregation (Colburn 1985).

Home to a thriving Black community for generations, St. Johns County served as a site for important events of the Civil Rights Movement in the mid-1960s. Still segregated after the *Brown v. Board of Education* decision of 1954, local African Americans targeted St. Augustine schools, hotels, and beaches for direct-action protest, staging sit-ins, boycotts, and other peaceful protest measures. Martin Luther King Jr. joined local activists in 1964, bringing his organizing skills and celebrity to try to end long-standing patterns of discrimination. Local whites attacked some protestors at beaches and restaurants, and the Ku Klux Klan threatened and perpetrated violence against civil rights activists. King and other organizers learned of the passage of the 1964 Civil Rights Act while working in Florida (Colburn 1985).

Today, tourism and agriculture still dominate the economy of St. Johns County. The country's oldest city and the Castillo de San Marcos, in addition to beaches and other attractions, draw visitors from all over the world. Many historic Spanish, British, and early American buildings have been restored and preserved, and the county draws beachgoers and history buffs alike (Mormino 2005; WPA 1939).

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## BACKGROUND RESEARCH

### FLORIDA MASTER SITE FILE REVIEW

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SEARCH reviewed Florida Master Site File (FMSF) data from October 2023 to identify previously recorded cultural resources within the APE. The FMSF review indicates 18 previous cultural resource surveys overlap the current project area (**Table 1; Figure 4**) and that 61 previously recorded cultural resources exist in the current project area (**Figure 5**). Of these, the most relevant to the current project are Survey Nos. 6563, 14001, 23432, and 25974. These surveys covered large areas overlapping the current APE, while many of the other surveys were limited to parcels adjacent to the SR 16 ROW with only superficial areas of overlap.

Florida Archaeological Services Inc. conducted a cultural resource survey of the Ridge Tract in 2001 (FMSF Survey No. 6563). The survey was conducted on behalf of Wildcat Ventures LLC ahead of the proposed Ridge Development project north of CR 208 and west of SR 16. The archaeological portion of the survey consisted of 146 shovel tests and resulted in the identification of six previously recorded archaeological sites (Johnson 2001). None of the sites documented in FMSF survey No. 6563 fall within the current project area.

SEARCH conducted a cultural resource survey of SR 16 in 2006 (FMSF Survey No. 14001). The survey was conducted on behalf of FDOT D2 for the proposed expansion from two lanes to four lanes between SR 13 and Tom's Rd, and from four lanes to six lanes between Tom's Rd and SR 13 (Laughlin and Linville 2006). The archaeological portion of the survey included the excavation of 352 shovel tests at 25, 50, or 100 m intervals. No cultural material was recovered during archaeological testing. Architectural survey recorded seventy historic resources within the APE, including six historic structures that fall within the current SR 16 APE (8SJ04042, 8SJ04043, 8SJ04044, 8SJ05074, 8SJ05075, and 8SJ05076). These six historic structures are discussed in greater detail on pages 31–35.

Environmental Services Inc. conducted a cultural resource survey of the Tomoka Forest Tract in 2007 (FMSF Survey No. 23432). The survey was conducted on behalf of The PARC Group ahead of the development of a 41-acre parcel on the north side of SR 16 (Kozma and Runyan 2007). The archaeological portion of the survey included pedestrian inspection and 12 judgmental shovel tests. A segment of a historic road (8SJ05310) was encountered during pedestrian survey; however, no cultural material was recovered during subsurface testing. Site 8SJ05310 extends into the current project area and is discussed in greater detail on pages 29–30.

SEARCH conducted a cultural resource survey of SR 16 and CR 208 in 2019 (FMSF Survey No. 25974). The survey was conducted on behalf of FDOT D2 in support of interchange improvements at I-95 (Dye et al. 2019). The archaeological portion of the survey consisted of pedestrian survey, and no shovel tests could be dug due to existing utilities and pavement; no cultural material was recovered. Architectural survey recorded 18 new historic resources, including 16 historic structures and two historic resource groups. Both historic resource groups (8SJ06632 and

8SJ06633) and eleven of the historic structures (8SJ06617, 8SJ06618, 8SJ06619, 8SJ06620, 8SJ06621, 8SJ06622, 8SJ06623, 8SJ06624, 8SJ06625, 8SJ06626, and 8SJ06627) fall within the current SR 16 APE and are discussed in greater detail on pages 30–35.

**Table 1. Previous Cultural Resources Assessment Surveys within the APE.**

FMSF No.	Title	Year	Consultant/Author
6563	<i>A Cultural Resource Assessment Survey of the Ridge Tract, A Planned Unit Development in St. Johns County, Florida.</i>	2001	Johnson, Robert E.
9811	<i>A Cultural Resource Reconnaissance Survey of the Wingate Hotel Parcel, St. Johns County, Florida.</i>	2004	Ferrell, Steve, and Jennifer Nash
10260	<i>A Cultural Resource Reconnaissance Survey of the Calvary Baptist Church Parcel, St. Johns County, Florida.</i>	2004	Hendryx, Greg S., and Ryan O. Sipe
10426	<i>A Cultural Resource Reconnaissance Survey of the Alterra Group, 16 Development LLC Parcel, St. Johns County, Florida.</i>	2004	Hendryx, Greg S., and Ryan O. Sipe
11454	<i>An Archaeological Reconnaissance Survey of the Ash Properties, Mill Creek Project, St. Johns County, Florida.</i>	2005	Johnson, Robert E.
11456	<i>A Cultural Resource Reconnaissance Survey of the Sunshine Land CPA Parcel, St. Johns County, Florida.</i>	2005	Bland, Myles
11686	<i>A Cultural Resource Reconnaissance Survey of the Ages/SR 16 Tract, St. Johns County, Florida.</i>	2005	Chance, Marsha, and Christopher Schaefer
12199	<i>A Cultural Resource Reconnaissance Survey of the North Kingdom Hall of Jehovah's Witnesses Tract, St. Johns County, Florida.</i>	2005	Arbuthnot, Michael, and Christopher Schaefer
13271	<i>A Cultural Resource Reconnaissance Survey of the Beverly/2980 SR 16 Property, St. Johns County, Florida.</i>	2006	Arbuthnot, Michael, Melinda R. Hill, and Brian S. Marks
13535	<i>A Cultural Resource Reconnaissance Survey of the Racetrac Store #753 Parcel, St. Johns County, Florida.</i>	2006	Hendryx, Greg S., and Ryan O. Sipe
14001	<i>Phase 1 Cultural Resource Assessment Survey of SR 16 from SR 13 to Woodlawn Road, St. Johns County, Florida.</i>	2006	Laughlin, Eleanor, and Nicholas Linville
21282	<i>"One of the most lovely spots I have ever feasted my eyes on" Northwest St. Johns County Historical Study and Architectural Survey</i>	2014	Gardner, Jeffery, Sheldon Owens, and Charles F. Philipe
23011	<i>An Intensive CRAS of the State Road 16 Self Storage Parcel, St. Johns County, Florida.</i>	2016	Bland, Myles
23432	<i>An Intensive Cultural Resource Assessment Survey of the Tomoka Forest Tract, St. Johns County, Florida</i>	2017	Kozma, Thomas J., and Catherine F. Runyan
24323	<i>Cultural Resource Assessment Survey of the Grand Oaks Development, St. Johns County, Florida.</i>	2017	Ste. Claire, Dana
25974	<i>Cultural Resource Assessment Survey for the SR 16 and CR 208 at I-95 Interchange Improvements Project, St. Johns County, Florida.</i>	2019	Dye, Melissa, Michael Foster, Allen Kent, and Mikel Travisano
26170	<i>Phase I Cultural Resource Assessment Survey of the Anderson Park PUD Hotels Parcel, St. Johns County, Florida.</i>	2019	Ste. Claire, Dana
27896	<i>Phase I Cultural Resource Assessment Survey of the Mill Creek Crossing PUD, St. Johns County, Florida.</i>	2021	Ste. Claire, Dana

*Highlighted surveys are discussed in report text.*



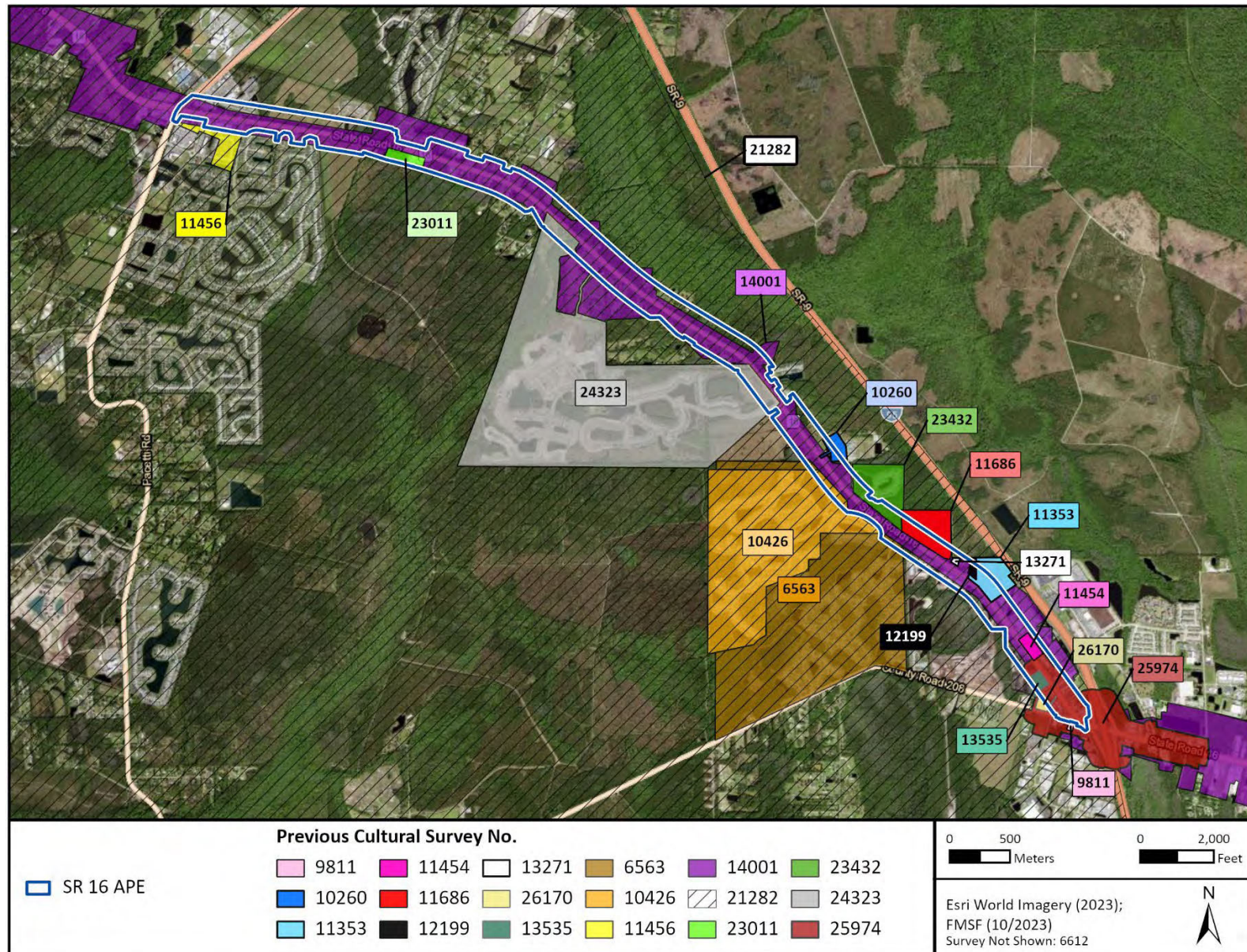


Figure 4. Previously documented surveys within the SR 16 APE.

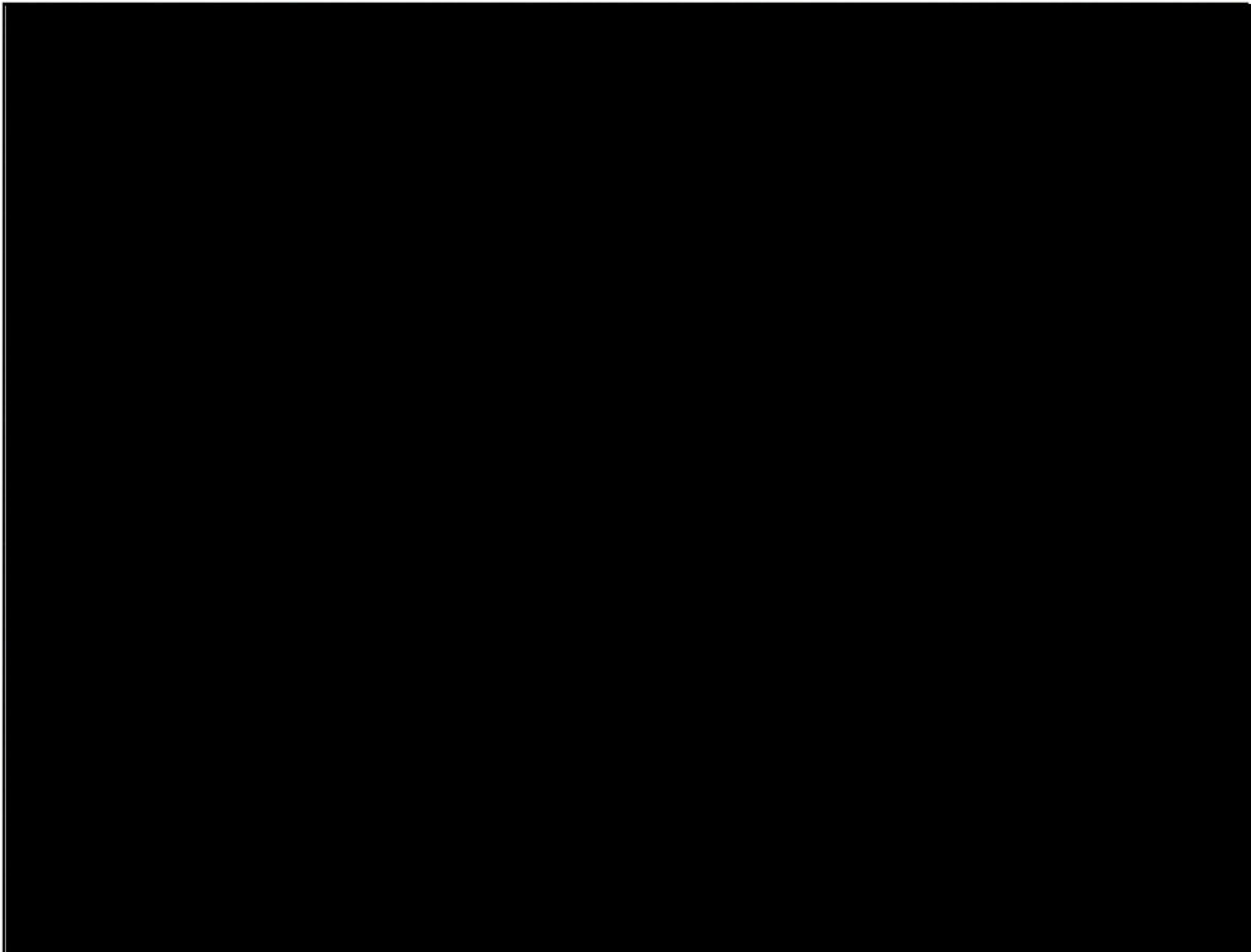
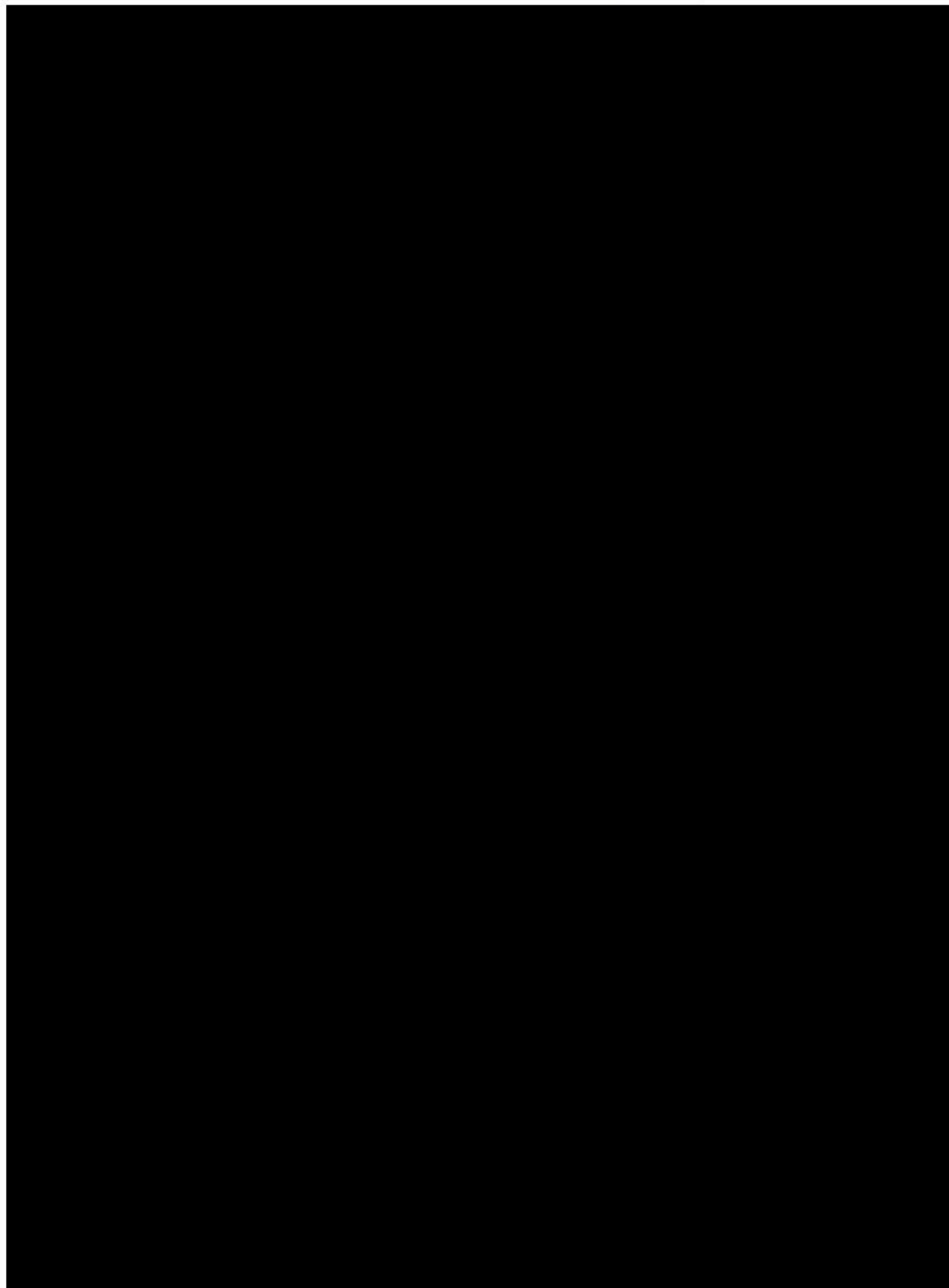


Figure 5. Previously documented cultural resources within the SR 16 APE.





**Table 3. Previously Recorded Cultural Resource Groups within the SR 16 APE.**

<b>Resource Groups</b>			
<b>FMSF No.</b>	<b>Name</b>	<b>Period of Significance</b>	<b>NRHP Eligibility Status</b>
8SJ05273	Nine Mile Road	Nineteenth-Century American, 1821–1899 Twentieth-Century American, Boom Times, 1921–1929 Spanish—Later First Period, 1700–1763	Ineligible
8SJ06632	2510 CR 208	Modern, 1950–Present	Ineligible
8SJ06633	2550 SR 16	Modern, 1950–Present	Ineligible

Nine Mile Road (8SJ05273) is a historic linear resource that was originally documented by ESI in 2006 (FMSF Survey No. 13459). The Resource Group is approximately 7.12 mi long, beginning near US 1 and extending southwest to the intersection of SR 16. According to a plaque erected by the St. Augustine Historical Society, Nine Mile Road derives its name from the location of its eastern terminus, which was nine miles north of St. Augustine on the Kings Road built in 1775 (Kuhner and Hendryx 2006). Segments of Nine Mile Road were surveyed by SEARCH in 2007 (FMSF Survey No. 20386) and again by SEARCH in 2016 (FMSF Survey No. 23120). Those surveys concluded that there is no evidence of the roadway’s construction prior to 1926 (Chambless et al. 2016) and that the interpreted eighteenth-century construction date was misconstrued with the construction date of the King’s Road. Nine Mile Road is now known as International Golf Parkway and has been heavily developed and modernized. As of August 2016, 8SJ05273 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 CR 208 (8SJ06632) is a modern Building Complex that was originally recorded by SEARCH in 2019 (FMSF Survey No. 25974). The resource group is a hotel complex composed of five buildings (8SJ06623, 8SJ06624, 8SJ06625, 8SJ06626, and 8SJ06627) and a pool constructed in 1972. All five buildings are concrete block and stucco construction; four were originally dedicated to guest rooms, while the fifth acted as the main office and restaurant (Dye et al. 2019). The complex is currently occupied by two separate hotels: The Howard Johnson’s in Buildings 1–3 (8SJ06623–8SJ06625) and the Econo Lodge in Buildings 4 and 5 (8SJ06626 and 8SJ06627). Each of the buildings is discussed in greater detail on pages 34–35. 8SJ06632 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2550 SR 16 (8SJ06633) is a modern Building Complex that was originally recorded by SEARCH in 2019 (FMSF Survey No. 25974). The resource group is a hotel complex composed of three buildings (8SJ06618, 8SJ06619, and 8SJ06620) and a pool constructed in 1969. All three buildings are concrete block construction with stucco and artbrick or artstone exterior fabrics. One of the structures was originally the main office, another was the hotel’s restaurant, and the third was dedicated to guest rooms (Dye et al. 2019). Each of the buildings is discussed in greater detail on page 33. 8SJ06633 has been evaluated as ineligible for listing in the NRHP by the SHPO.



**Table 4. Previously Recorded Historic Buildings within 1.0 mi of the SR 16 APE.**

<b>Historic Buildings</b>				
<b>FMSF No.</b>	<b>Address</b>	<b>Year Built</b>	<b>Surveyor Evaluation</b>	<b>NRHP Eligibility Status</b>
8SJ02889	Nine Mile Road	Not Listed	Not Evaluated	Not Evaluated
8SJ02890	SR 16 (P.O. Box 1987)	Not Listed	Not Evaluated	Not Evaluated
8SJ02947	2000 State Road 16 N.	1923	Ineligible	Ineligible
8SJ02948	State Road 16 N.	1955	Ineligible	Ineligible
8SJ04036	5750 State Road 16 N.	1947	Ineligible	Ineligible
8SJ04038	4555 Wolfe Road	1925	Ineligible	Not Evaluated
8SJ04039	4155 Corbin Road	1935	Ineligible	Not Evaluated
8SJ04040	3991 Curry Road	1935	Ineligible	Not Evaluated
8SJ04041	4081 S. Francis Road	1940	Ineligible	Not Evaluated
8SJ04042	4250 State Road 16 N.	1954	Ineligible	Ineligible
8SJ04043	4125 State Road 16 SW.	1938	Ineligible	Ineligible
8SJ04044	3955 State Road 16 SW.	1930	Ineligible	Ineligible
8SJ04045	4668-A Kohler Road	1925	Ineligible	Ineligible
8SJ04046	5425 State Road 16	1947	Ineligible	Ineligible
8SJ04047	2045-B State Road 16 S.	1956	Ineligible	Ineligible
8SJ04989	2305 State Road 16	1953	Ineligible	Ineligible
8SJ05079	5625 State Road 16 S.	1950	Ineligible	Ineligible
8SJ05065	2125 State Road 16 S.	1950	Ineligible	Ineligible
8SJ05063	2045 State Road 16 S.	1950	Ineligible	Ineligible
8SJ05064	2045-C State Road 16 S.	1951	Ineligible	Ineligible
8SJ05066	2130 State Road 16	1938	Ineligible	Ineligible
8SJ05067	2130 State Road 16 N.	1938	Ineligible	Ineligible
8SJ05068	2131-A State Road 16 S.	1955	Ineligible	Ineligible
8SJ05069	2131-B State Road 16 S.	1940	Ineligible	Ineligible
8SJ05070	2170 State Road 16 N.	1953	Ineligible	Ineligible
8SJ05074	3975 State Road 16 SW.	1950	Ineligible	Ineligible
8SJ05075	4610 State Road 16 N.	1941	Ineligible	Ineligible
8SJ05076	4700 State Road 16 N.	1955	Ineligible	Ineligible
8SJ05077	5405 State Road 16	1947	Ineligible	Ineligible
8SJ05078	5505 State Road 16 S.	1960	Ineligible	Ineligible
8SJ05080	5905 State Road 16 S.	1958	Ineligible	Ineligible
8SJ06612	2595 County Road 208	1956	Ineligible	Ineligible
8SJ06613	2445 State Road 16	1967	Ineligible	Ineligible
8SJ06614	2365 State Road 16	1971	Ineligible	Ineligible
8SJ06615	110 Harvest Ln. (Bldg. 1)	1970	Ineligible	Ineligible
8SJ06616	110 Harvest Ln. (Bldg. 2)	1971	Ineligible	Ineligible
8SJ06617	2500 State Road 16	1968	Ineligible	Ineligible
8SJ06618	2550 State Road 16 (Bldg. 1)	1969	Ineligible	Ineligible
8SJ06619	2550 State Road 16 (Bldg. 2)	1969	Ineligible	Ineligible
8SJ06620	2550 State Road 16 (Bldg. 3)	1969	Ineligible	Ineligible
8SJ06621	2560 State Road 16 (Bldg. 1)	1972	Ineligible	Ineligible
8SJ06622	2560 State Road 16 (Bldg. 2)	1972	Ineligible	Ineligible
8SJ06623	2510 County Road 208 (Bldg. 1)	1972	Ineligible	Ineligible
8SJ06624	2510 County Road 208 (Bldg. 2)	1972	Ineligible	Ineligible
8SJ06625	2510 County Road 208 (Bldg. 3)	1972	Ineligible	Ineligible
8SJ06626	2510 County Road 208 (Bldg. 4)	1972	Ineligible	Ineligible
8SJ06627	2510 County Road 208 (Bldg. 5)	1972	Ineligible	Ineligible

Yellow-shaded resources are located within project APE.

4250 State Road 16 N (8SJ04042) is a historic building that was documented by ESI in 2001 (FMSF Survey No. 06612) and by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Frame Vernacular house constructed circa 1954. It has a wood frame structure with wood-siding exterior wall fabric and a gable roof, as well as single-hung sash windows and a hip-roof open porch across the full width of the structure (Laughlin and Linville 2006). 8SJ04042 has been evaluated as ineligible for listing in the NRHP by the SHPO.

4125 State Road 16 SW (8SJ04043) is a historic building that was documented by ESI in 2001 (FMSF Survey No. 06612) and by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Frame Vernacular house constructed circa 1938 (Laughlin and Linville 2006). It has an L-shaped plan and wood frame structure, with a gabled roof and clapboard siding. 8SJ04043 has been evaluated as ineligible for listing in the NRHP by the SHPO.

3955 State Road 16 SW (8SJ04044) is a historic building that was documented by ESI in 2001 (FMSF Survey No. 06612) and by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Frame Vernacular house constructed circa 1935 (Laughlin and Linville 2006). It has a wood frame structure with clapboard siding and a metal gable roof, as well as single-hung sash windows and an open entry porch on the northeast elevation. 8SJ04044 has been evaluated as ineligible for listing in the NRHP by the SHPO.

3975 State Road 16 SW (8SJ05074) is a historic building that was documented by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Masonry Vernacular house constructed circa 1950. It has a wood frame structure with brick exterior wall fabric and a gable roof clad in composite shingles, as well as decorative shutters and an incised entry porch on the northeast elevation (Laughlin and Linville 2006). 8SJ05074 has been evaluated as ineligible for listing in the NRHP by the SHPO.

4610 State Road 16 N (8SJ05075) is a historic building documented by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Frame Vernacular house constructed circa 1941. It has a wood frame structure with vinyl exterior wall fabric and a gable on hip roof clad in composite shingles, as well as an incised entry porch on the south elevation (Laughlin and Linville 2006). 8SJ05075 has been evaluated as ineligible for listing in the NRHP by the SHPO.

4700 State Road 16 N (8SJ05076) is a historic building that was documented by SEARCH in 2006 (FMSF Survey No. 14001). The building is a single-story, Masonry Vernacular house constructed circa 1955. It has a concrete block structure with stucco exterior wall fabric and a gable roof clad in composite shingles, as well as a brick chimney and incised entry porch on the south elevation (Laughlin and Linville 2006). 8SJ05076 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2500 State Road 16 (8SJ06617) is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a single-story, Commercial-style structure constructed circa 1968. It is used as an auto repair shop and has a concrete block structure with vinyl exterior wall fabric and a flat roof. The exterior plan is rectangular, though it was originally L-shaped



(Laughlin and Linville 2006). 8SJ06617 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2550 State Road 16, Building 1 (8SJ06618), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a single-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06633) constructed circa 1968, along with two other buildings and a pool (Laughlin and Linville 2006). Building 1 is the hotel restaurant and is connected to the two other buildings by sidewalks. It has a rectangular plan and concrete block structure with stucco and artstone exterior wall fabrics. The building has a flat, cross-gable roof with a large weathervane. 8SJ06618 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2550 State Road 16, Building 2 (8SJ06619), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a single-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06633) constructed circa 1968, along with two other buildings and a pool (Laughlin and Linville 2006). Building 2 is the hotel office and is connected to the two other buildings by sidewalks. It has a rectangular plan and concrete block structure with stucco and artstone exterior wall fabrics. The building has a deep gable roof line and a covered area for cars. 8SJ06619 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2550 State Road 16, Building 3 (8SJ06620), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06633) constructed circa 1968, along with two other buildings and a pool (Laughlin and Linville 2006). Building 3 houses the hotel guest rooms and is connected to the two other buildings by sidewalks. It has a rectangular plan and concrete block structure with stucco and artstone exterior wall fabrics. The building has patios or balconies with sliding glass doors facing outward from the exterior guest rooms. 8SJ06620 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2560 State Road 16, Building 1 (8SJ06621), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a single-story, Commercial-style structure that is part of a hotel constructed circa 1972, along with one other building and a pool (Laughlin and Linville 2006). Building 1 is the hotel office and is connected to the other building by sidewalks and a covered walkway. It has a rectangular plan and concrete block structure with stucco wall fabric. The building has a hipped gable roof with decorative wood trim along the bottom edge that extends along the covered walkway between the buildings. 8SJ06621 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2560 State Road 16, Building 2 (8SJ06622), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of a hotel constructed circa 1972, along with one other building and a pool (Laughlin and Linville 2006). Building 2 houses the hotel guest rooms and is connected to the other building by sidewalks and a covered walkway. It has an L-shaped plan and concrete block structure with

stucco wall fabric. The building has a flat roof and metal-framed windows. 8SJ06622 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 State Road 16, Building 1 (8SJ06623), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a single-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06632) constructed circa 1972, along with four other buildings and a pool (Laughlin and Linville 2006). Building 1 was originally designed as the hotel complex's office and restaurant and is connected to the four other buildings by a parking lot. It has a rectangular plan and concrete block structure with stucco exterior wall fabric. The building has a gable roof clad with Spanish tiles. 8SJ06623 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 State Road 16, Building 2 (8SJ06624), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06632) constructed circa 1972, along with four other buildings and a pool (Laughlin and Linville 2006). Building 2 was originally designed to house guest rooms and is connected to the four other buildings by a parking lot. It has a rectangular plan and concrete block structure with stucco exterior wall fabric. The building has a flat roof and fixed, metal-framed windows. 8SJ06624 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 State Road 16, Building 3 (8SJ06625), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06632) constructed circa 1972, along with four other buildings and a pool (Laughlin and Linville 2006). Building 3 was originally designed to house guest rooms and is connected to the four other buildings by a parking lot. It has a rectangular plan and concrete block structure with stucco exterior wall fabric. The building has a flat roof and fixed, metal-framed windows. 8SJ06625 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 State Road 16, Building 4 (8SJ06626) is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06632) constructed circa 1972, along with four other buildings and a pool (Laughlin and Linville 2006). Building 4 was originally designed to house guest rooms and is connected to the four other buildings by a parking lot. It has a rectangular plan and concrete block structure with stucco exterior wall fabric. The building has a flat roof and fixed, metal-framed windows. 8SJ06626 has been evaluated as ineligible for listing in the NRHP by the SHPO.

2510 State Road 16, Building 5 (8SJ06627), is a historic building that was documented by SEARCH in 2019 (FMSF Survey No. 25974). The building is a two-story, Commercial-style structure that is part of an FMSF-documented hotel complex (8SJ06632) constructed circa 1972, along with four other buildings and a pool (Laughlin and Linville 2006). Building 5 was originally designed as hotel guest rooms and is connected to the four other buildings by a parking lot. It has a rectangular

plan and concrete block structure with stucco exterior wall fabric. The building has a flat roof and fixed, metal-framed windows. 8SJ06627 has been evaluated as ineligible for listing in the NRHP by the SHPO.

## HISTORIC MAP AND AERIAL PHOTOGRAPH REVIEW

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SEARCH examined historic maps and aerial photographs to identify past land use in the vicinity of the APE. The earliest maps consulted were General Land Office (GLO) survey maps. Government land surveyors created GLO maps during the nineteenth century as part of the surveying, platting, and sale of public lands. In Florida, these maps characteristically show landscape features such as vegetation, bodies of water, roads, and Spanish land grants. The level of detail in GLO maps varies; some also depict structures, Native American villages, railroads, and agricultural fields. GLO maps of Florida Townships 6 and 7 South, Ranges 28 and 29 East, show the study area within land grants belonging to Antonio Huertas and G.W. Perpall. Both men received their land grants from the Spanish government in the second Spanish period, and both were confirmed by the US government. A northwest–southeast road partially followed the alignment of the study area south of the Perpall land grant, and an additional northwest–southeast road intersected the APE in the far south. Outside the land grants, the remainder of the study area is within land plotted for sale (**Figure 6**) (Florida State Library and Archive n.d.a, n.d.b; GLO 1853a, 1853b, 1853c, 1853d).

In 1860, a generally east–west road intersected the APE in the far south on the present-day alignment of CR 208 (Johnson 1994). No development occurred within the APE by 1917 (Asher and Adams 1871; C. S. Hammond and Company 1910; Florida State Road Department [FSRD] 1917; Leslie-Judge Company 1880; Norton 1890; Rand McNally and Company 1900). A map from 1935 depicts a paved road is on the present-day alignment of SR 16 within the study area. At least three additional roads intersected the central road on the orientations of International Golf Parkway, South Francis Road, and CR 208 (FSRD 1935).

A topographic map created in 1943 shows the central road labeled Mill Creek Road and intersected by a total of 11 roads, including those evident in 1935 and Pacetti Road. At least eight buildings are depicted within the APE, and the Mill Creek School is labeled outside the APE to the north (**Figure 7**) (US Geological Survey [USGS] 1943).

Aerial photographs taken in 1952 show most of the land surrounding SR 16 remained unimproved. However, three areas with improved fields are within the APE near Pacetti Road, South Francis Road, and near the center of the APE (**Figure 8**) (US Department of Agriculture [USDA] 1952).

A map from 1962 shows that the area southeast of the intersection of SR 16 and Pacetti Road was covered by improved fields with a grid of canals that intersected the current APE. The map depicts similar fields north of the intersection of SR 16 and CR 208. A total of five roads

intersected the APE, though smaller driveways are depicted within the APE. At least 10 buildings are depicted within the APE (**Figure 9**) (USDA 1960).

Topographic maps from 1970 officially label SR 16 within the APE. A total of 26 buildings are depicted within the APE. A larger Mill Creek School is shown north of the APE (**Figure 10**) (USGS 1970).



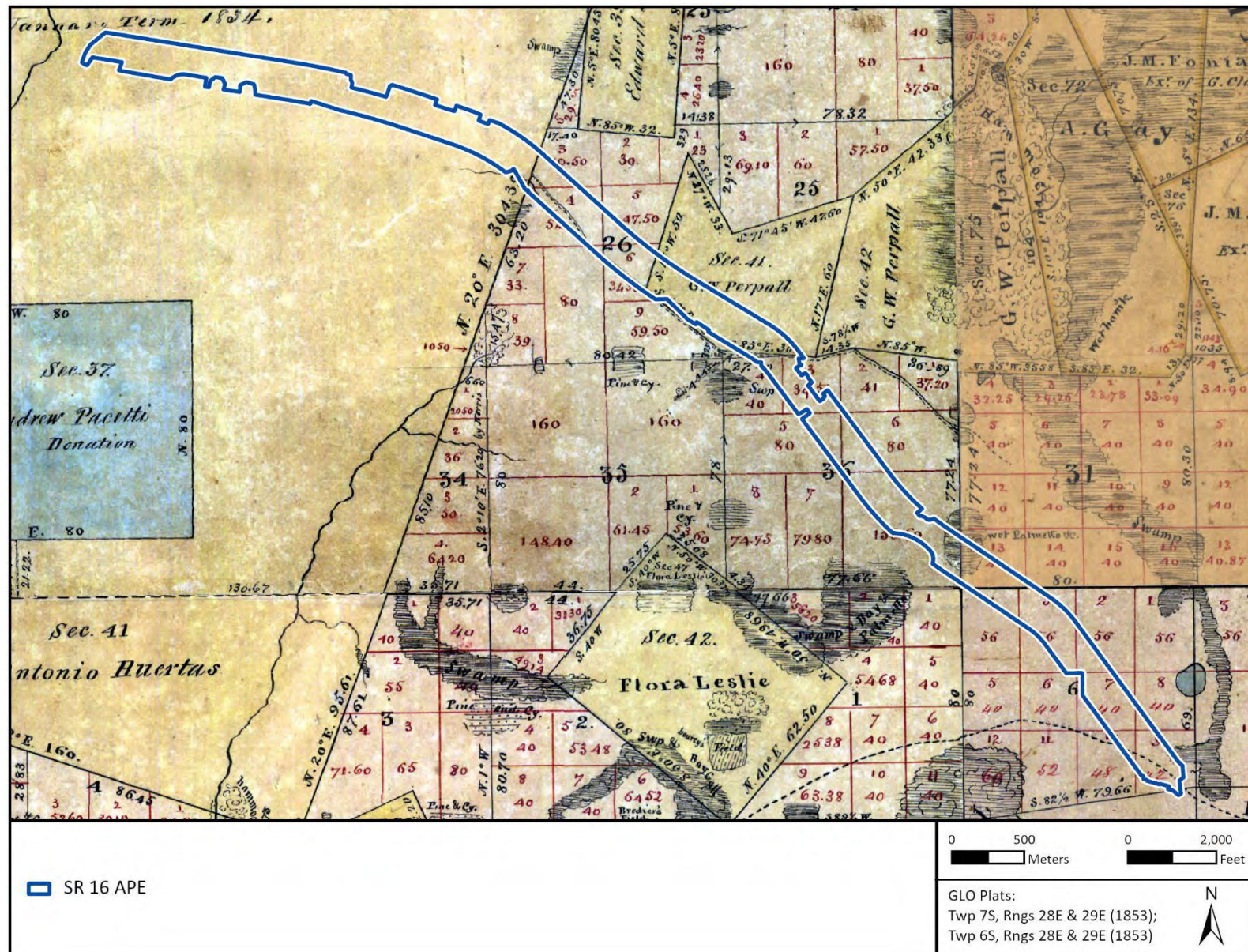


Figure 6. GLO survey map of Townships 6 and 7 South, Ranges 28 and 29 East (GLO 1853a, 1853b, 1853c, 1853d).



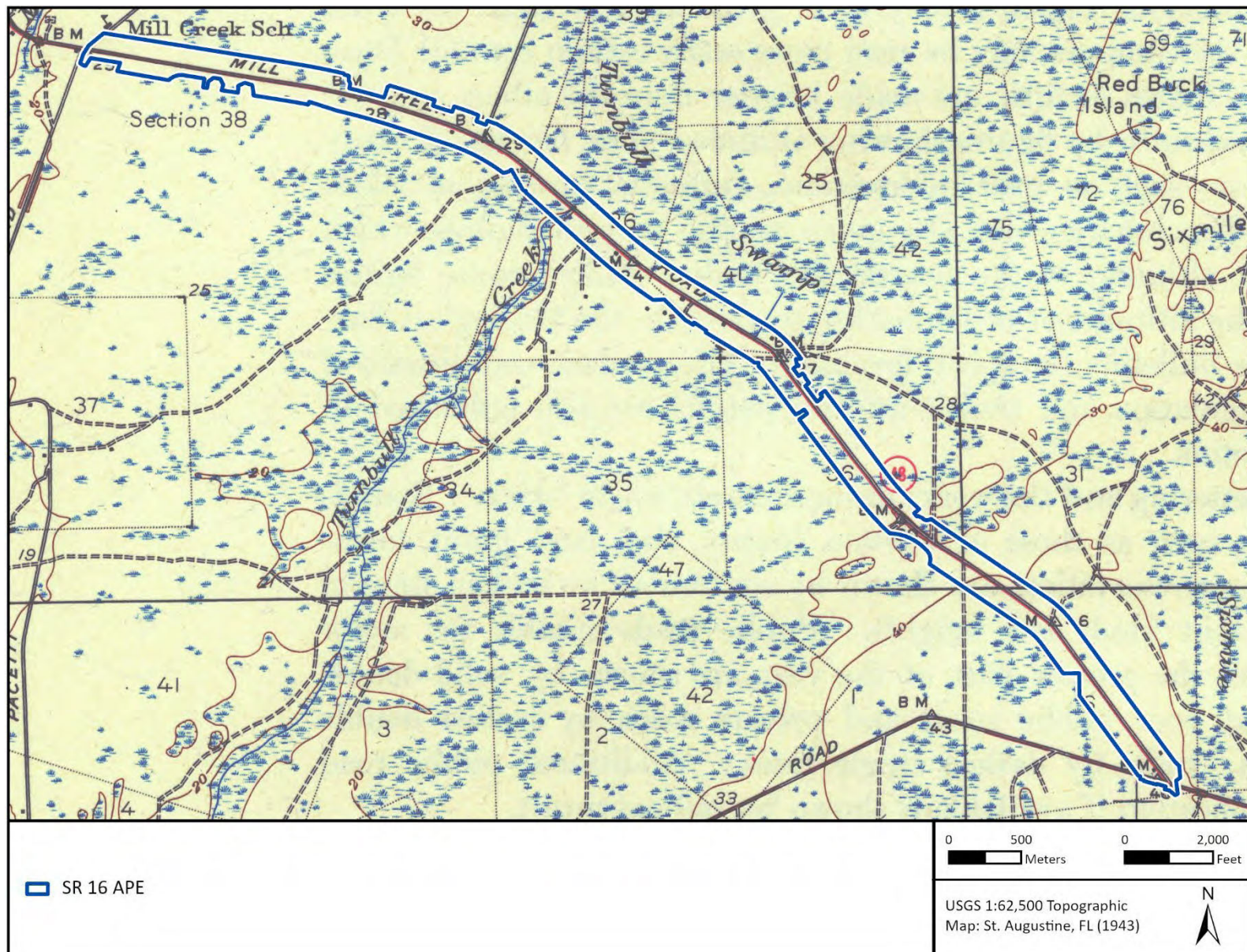


Figure 7. St. Augustine, Florida, USGS topographic map (USGS 1943).



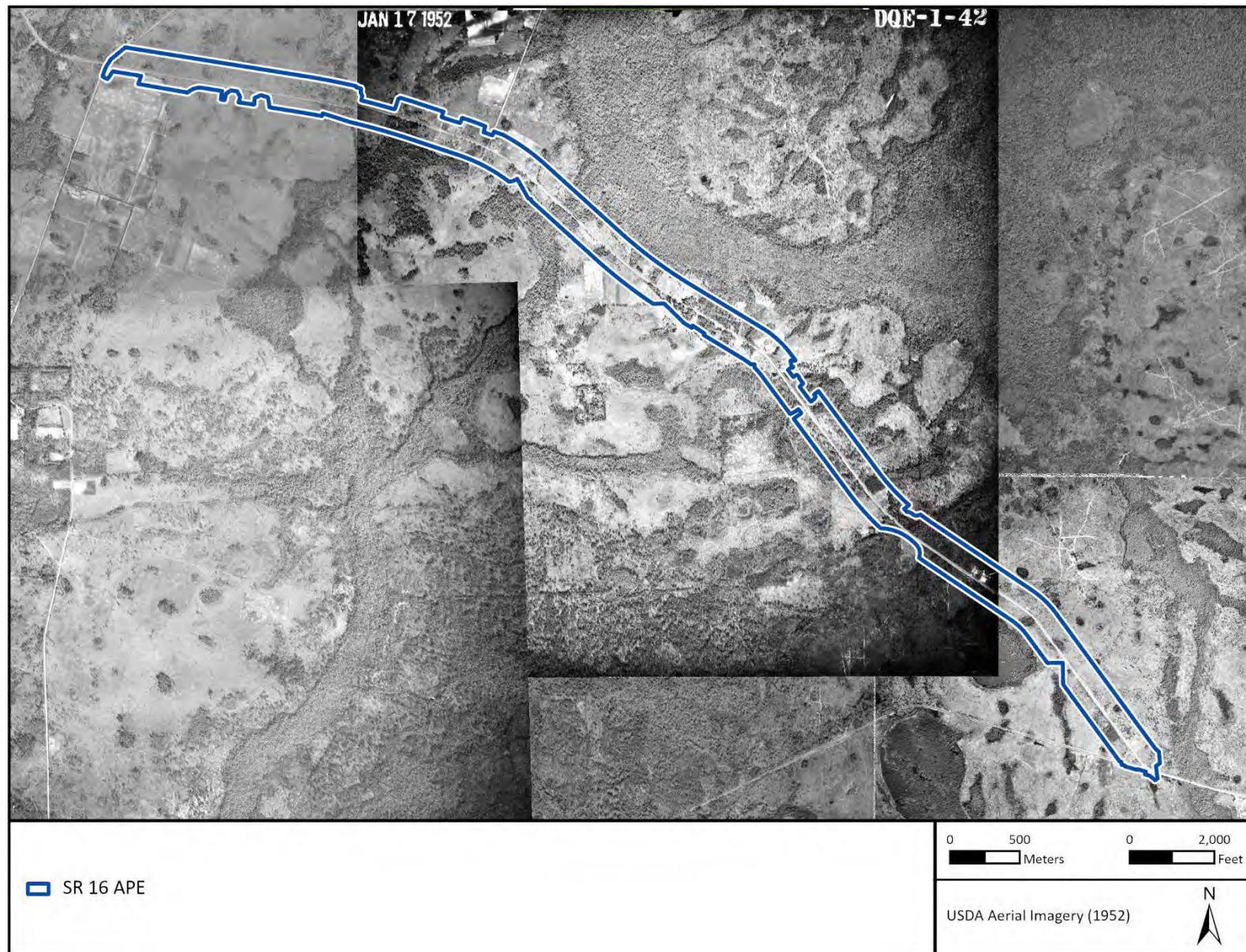


Figure 8. USDA aerial photographs of St. Johns County, Florida (USDA 1952).



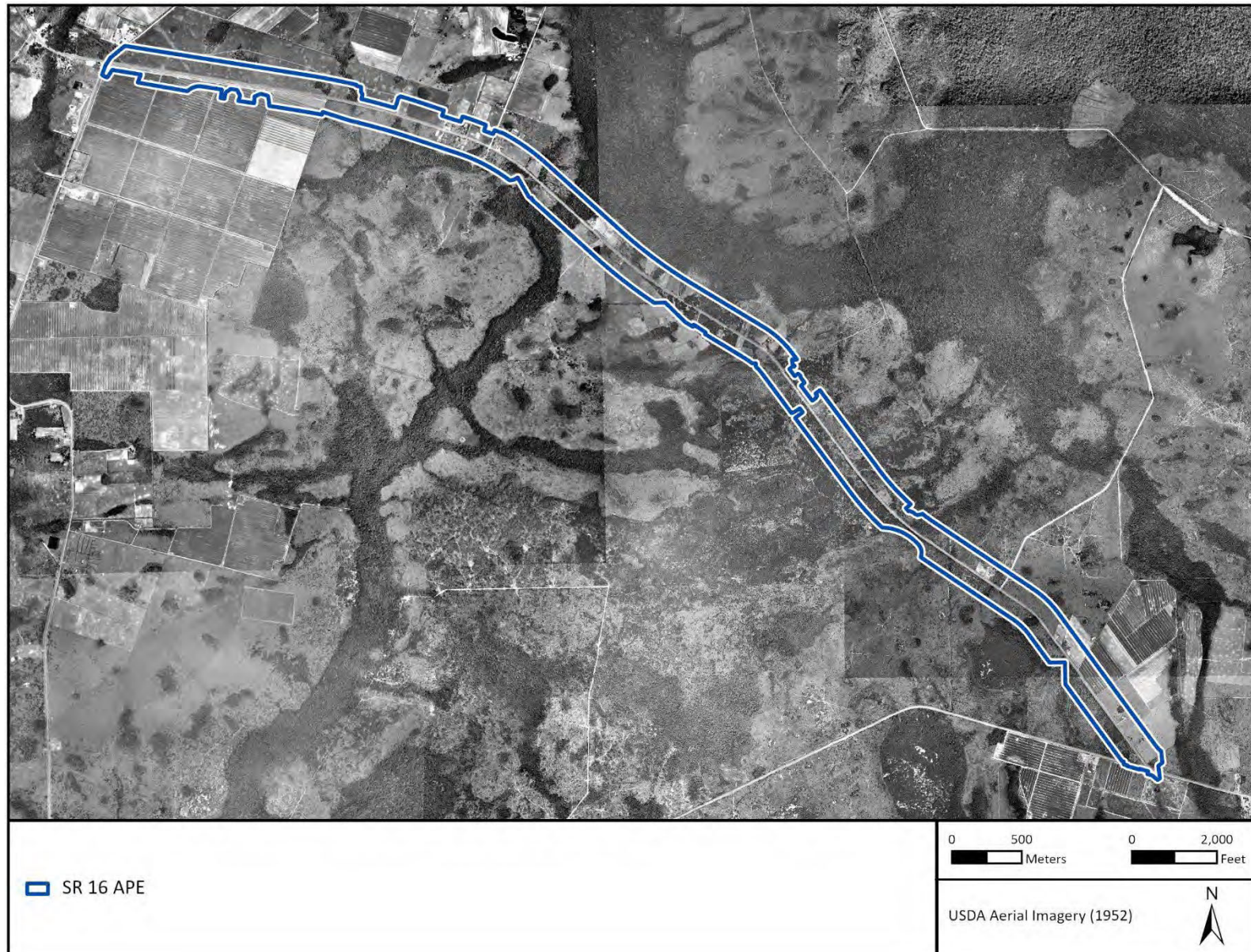


Figure 9. USDA aerial photographs of St. Johns County, Florida (USDA 1960).



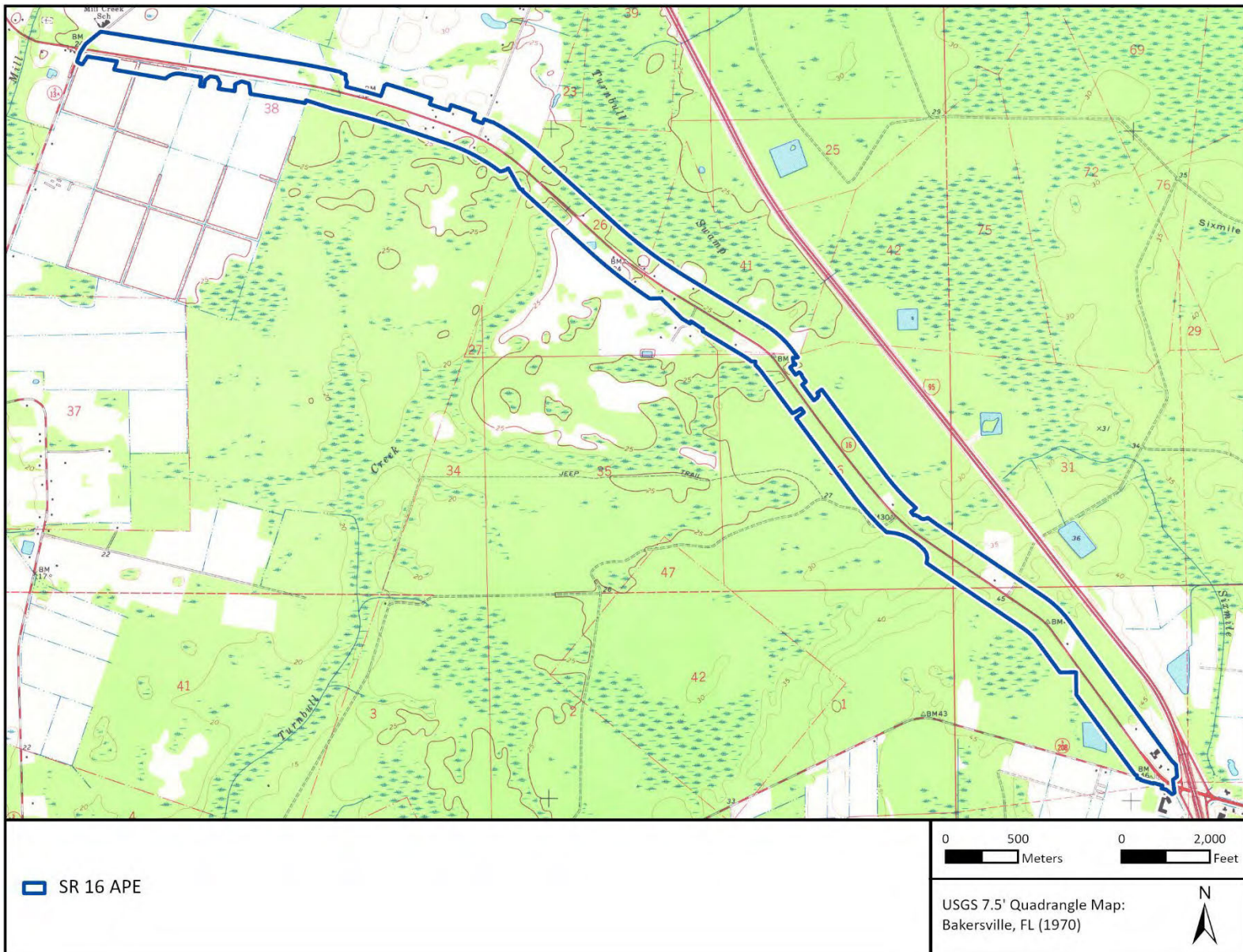


Figure 10. Bakersville, Florida, USGS topographic map (USGS 1970).

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## RESEARCH DESIGN

### PROJECT GOALS

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A research design is a plan to coordinate the cultural resource investigation from inception to the completion of the project. This plan should minimally account for three things: (1) it should make explicit the goals and intentions of the research, (2) it should define the sequence of events to be undertaken in pursuit of the research goals, and (3) it should provide a basis for evaluating the findings and conclusions drawn from the investigation.

The goal of this cultural resource survey was to locate and document cultural resources within the APE and to evaluate their potential eligibility for NRHP listing. Examples of such resources include but are not limited to archaeological site, historic buildings and structures, historic bridges, and historic cemeteries. The research strategy included background investigation, a historical document search, and field survey. The background investigation involved examination of relevant archaeological literature, producing a summary of previous archaeological work undertaken near the project area. The FMSF was checked for previously recorded sites within the project corridor, which provided an indication of Native American settlement and land-use patterns for the region. Current soil surveys, vegetation maps, and relevant literature were consulted to provide a description of the physiographic and geological region of which the project area is a part. These data were used in combination to develop expectations regarding the types of archaeological sites that may be present and their likely locations (site probability areas).

The historical document search involved a review of primary and secondary historic sources and a review of the FMSF for previously recorded historic resources. The original township plat maps, early aerial photographs, and other relevant sources were checked for information pertaining to the existence of historic structures or buildings, sites of historic events, and historically occupied or noted Native American settlements within the APE.

### NRHP CRITERIA

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Cultural resources identified within the APE were evaluated according to the criteria for listing in the NRHP. As defined by the National Park Service (NPS), the quality of significance in American history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. that are associated with events or activities that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that

represent a significant and distinguishable entity whose components may lack individual distinction; or

D. that have yielded, or may be likely to yield, information important in prehistory or history.

NRHP-eligible districts must possess a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development (NPS 1997). NRHP-eligible districts and buildings must also possess historic significance, historic integrity, and historical context.

## **CULTURAL RESOURCE POTENTIAL**

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Based on an examination of environmental variables (soil drainage, access to wetlands and marine resources, relative elevation) and the results of previously conducted surveys, the potential for Native American archaeological sites to be present within the APE was considered low. While Native American sites have been identified in proximity to the APE, the ROW within which the proposed improvements will be built has undergone extensive disturbance due to road construction and maintenance as well as the installation of underground utilities.

Based on the results of the historic map review and available FMSF data, several historic resources have been previously identified within the APE. Given the results of these reviews, the APE was judged to have low to high potential for historic-period archaeological sites and historic resources.

## **SURVEY METHODS**

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### **Archaeological Field Methods**

The archaeological field survey consisted of systematic subsurface shovel testing according to the potential for buried archaeological sites. The intensity of subsurface testing was based on the presence or absence of conditions conducive to human habitation (i.e., proximity to fresh water, topography, and soil drainage). Proximity to previously recorded sites and evidence of existing disturbance was also considered. Based on these factors, subsurface tests were excavated at intervals of 25, 50, and 100 m, according to high, medium, and low probability for archaeological resources along one transect within the ROW.

Shovel tests measured 50 cm in diameter and were excavated to a minimum depth of 100 cm below surface (cmbs), subsurface conditions permitting. All excavated sediments were screened through 0.25 in mesh hardware cloth. The location of each shovel test was marked on aerial photographs and recorded on handheld GPS units. The cultural content, soil strata, and environmental setting of each shovel test were recorded on field forms.

## **Architectural Field Methods**

The architectural survey for the project utilized standard procedures for locating, investigating, and recording historic properties. In addition to a search of the FMSF for previously recorded historic resources within the project area, USGS quadrangle maps were reviewed for structures built prior to 1979. The field survey inventoried existing buildings, structures, and other aspects of the built environment within the APE. The location of each historic resource was plotted on US Geological Survey quadrangle maps and on project aerials. All identified historic resources were photographed with a digital camera, and all pertinent information regarding the architectural style, distinguishing characteristics, and present condition was recorded on FMSF resource forms. Upon fieldwork completion, forms and photographs were returned to the SEARCH office for analysis. Date of construction, design, architectural features, condition, and integrity of the resource, as well as how the resources relate to the surrounding landscape, were considered. The resources were evaluated against the NRHP eligibility criteria, then recommended eligible, not eligible, or as having insufficient information for SEARCH to make a recommendation.

## **Laboratory Methods**

SEARCH did not recover any artifacts as a result of this survey; therefore, no laboratory analysis was required.

## **Curation**

The original maps and field notes are housed at SEARCH's Newberry office and will be provided to FDOT, District 2, upon project completion. SEARCH will retain digital copies.

## **Certified Local Government Consultation**

St. Johns County is a Certified Local Government (CLG). SEARCH initiated consultation with Ms. Hali Barkley, the CLG representative for the county. On December 1, 2023, SEARCH archaeologist Matthew Mele, BA, emailed Ms. Barkley to discuss the project and to inquire whether the county might have concerns related to cultural resources associated with the project. In the email, Mr. Mele provided the project maps to Ms. Barkley for review. Ms. Barkley replied on December 12, 2023, and stated that she had no comments or concerns with the widening project proposed for SR 16.

## **Procedures to Deal with Unexpected Discoveries**

The investigation made a reasonable and good-faith effort to identify and evaluate possible locations of Native American and historic archaeological sites; however, the possibility exists that evidence of cultural resources may yet be encountered within the APE. Should evidence of unrecorded cultural resources be discovered during construction activities, all work in that

portion of the APE must stop. Evidence of cultural resources includes precontact or historic pottery, stone tools, bone or shell tools, historic trash pits, and historic building foundations. Should potential cultural artifacts or features be uncovered during the excavation of the project area, representatives of FDOT, District 2, will assist in the identification and preliminary assessment of the resources. If such evidence is found, the FDHR will be notified within two working days.

In the unlikely event that human skeletal remains or associated burial artifacts are uncovered within the project area, all work in that area must stop. The FDOT, District 2, cultural resources coordinator must be contacted. The discovery must be reported to local law enforcement, who will in turn contact the medical examiner. The medical examiner will determine whether the state archaeologist should be contacted per the requirements of Chapter 872.05, Florida Statutes.

## RESULTS

### ARCHAEOLOGICAL SURVEY

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The APE is located west of St. Augustine, Florida, in an area characterized by maintained roadway ROW bordered by large commercial and residential developments to the south, with some wooded parcels and small residential and commercial properties scattered along the central borders of the APE (**Figure 11**). Archaeological survey consisted of pedestrian survey and shovel testing in portions of the APE not covered by previous Module Three-compliant cultural resource surveys, primarily FMSF Survey Nos. 14001 and 25974, which were conducted in support of the SR 16 Improvements and I-95 Interchange Improvements projects (SEARCH 2006 and 2019). As such, archaeological testing during the current survey was conducted within untested portions of the ROW, and a total of 14 shovel tests were excavated (**Figures 12–18**).

A typical shovel test profile within the corridor consists of a very dark brown (10 YR 2/2) sandy loam from 0 to 25 cmbs (Stratum I) over dark gray (10 YR 4/1) sand from 25 to 40 cmbs (Stratum II) above gray (10 YR 5/1) sand from 40 to 60 cmbs (Stratum III) (**Figure 19**). Shovel tests terminated due to reaching a maximum depth of 100 cmbs, inundation, or compaction impasse.

Many of the grassy and forested areas along the ROW were inundated with water at the surface. Most shovel tests that could be excavated in areas without water at the surface became inundated between 20 to 70 cmbs. One shovel test reached a maximum depth of 100 cmbs. The soil profile consisted of gray (10 YR 5/1) sand from 0 to 45 cmbs (Stratum I) over very pale brown (10 YR 7/3) sand from 45 to 100 cmbs (Stratum II).

All shovel tests were negative for artifacts, and an additional 35 no-dig points were recorded where testing was not possible due to disturbance, buried utilities, or ground-surface inundation. The location of shovel tests, no-dig points, disturbances, and geographic characteristics were marked on field maps, which are provided in **Appendix A**. An FDHR survey log sheet is provided in **Appendix B**. No archaeological sites or occurrences were identified within the corridor portion of the APE. No further archaeological work is recommended.





**Figure 11. Representative views of the corridor archaeological APE. Top left: inundated swale and buried utilities in northern portions of the APE, view northwest. Top right: inundated swale and buried utilities in northern portions of the APE, view southeast. Center left: environmental overview of APE north of Kohler Road, view south. Center right: inundated wetland within APE near 8SJ05310, view west. Bottom left: development, drainage, and buried utilities within the southern portions of the APE, view northwest. Bottom right: sidewalk, ditch, and buried utilities within the southern portion of the APE, view southeast.**



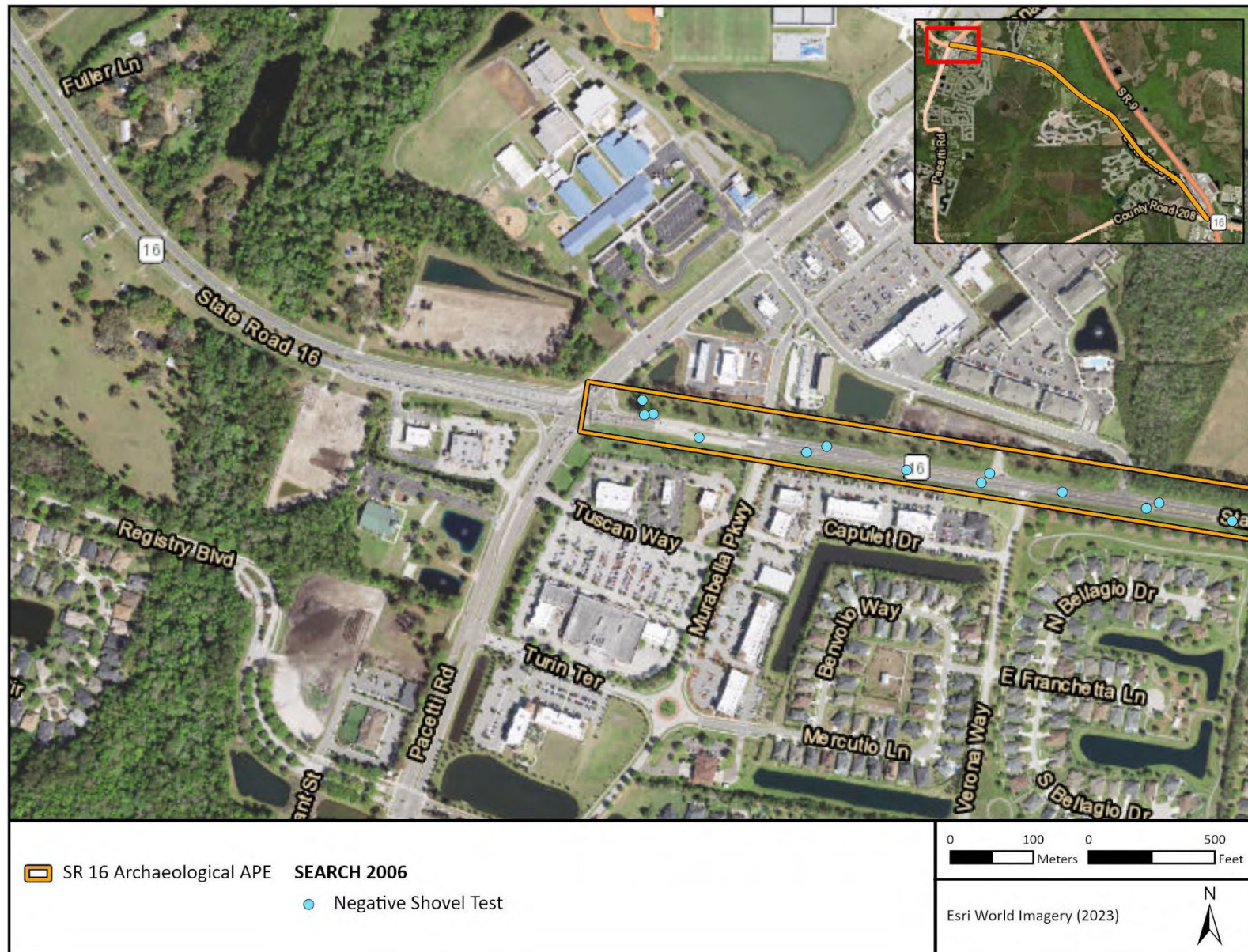


Figure 12. Results of archaeological testing within the APE, map 1 of 7.



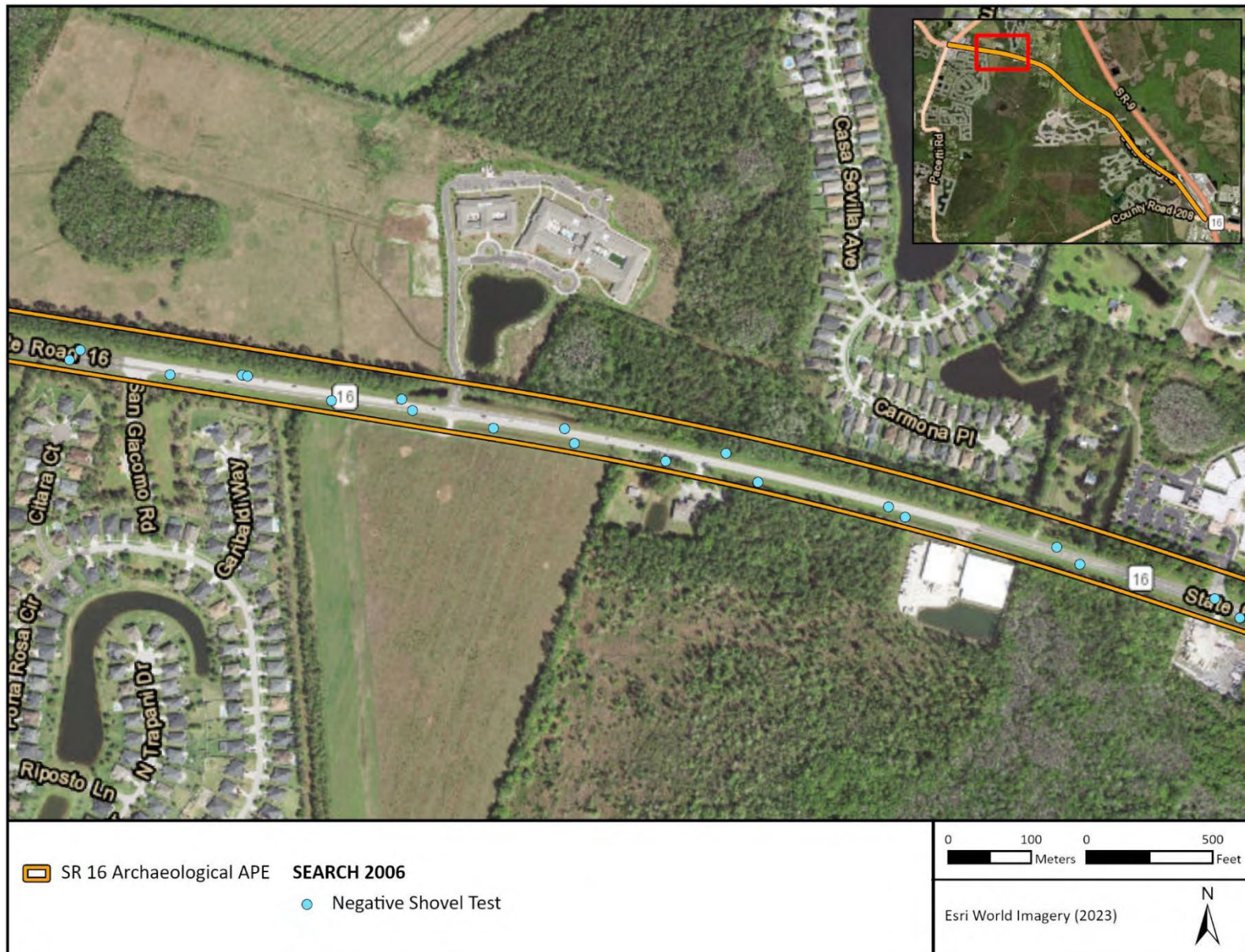


Figure 13. Results of archaeological testing within the APE, map 2 of 7.



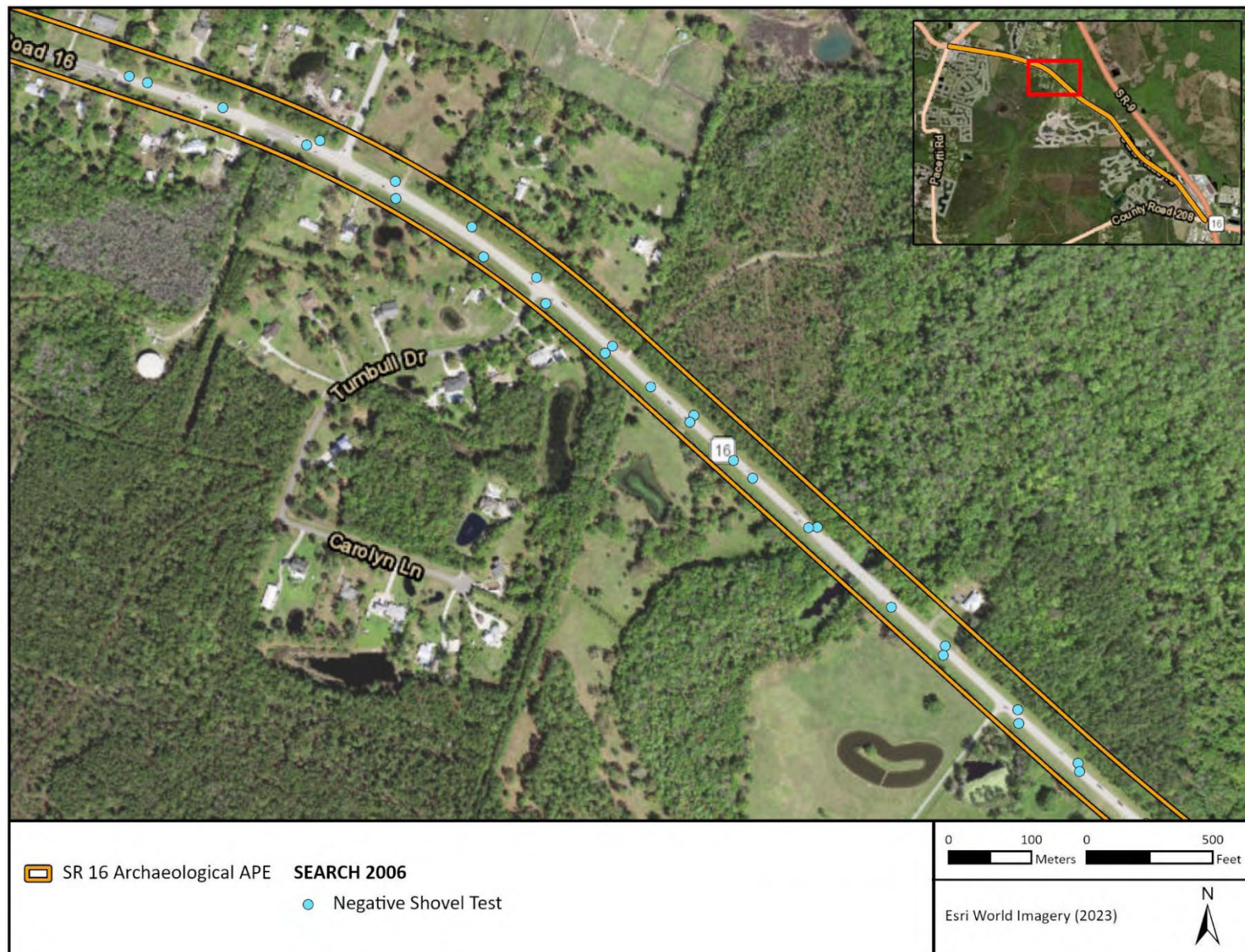


Figure 14. Results of archaeological testing within the APE, map 3 of 7.



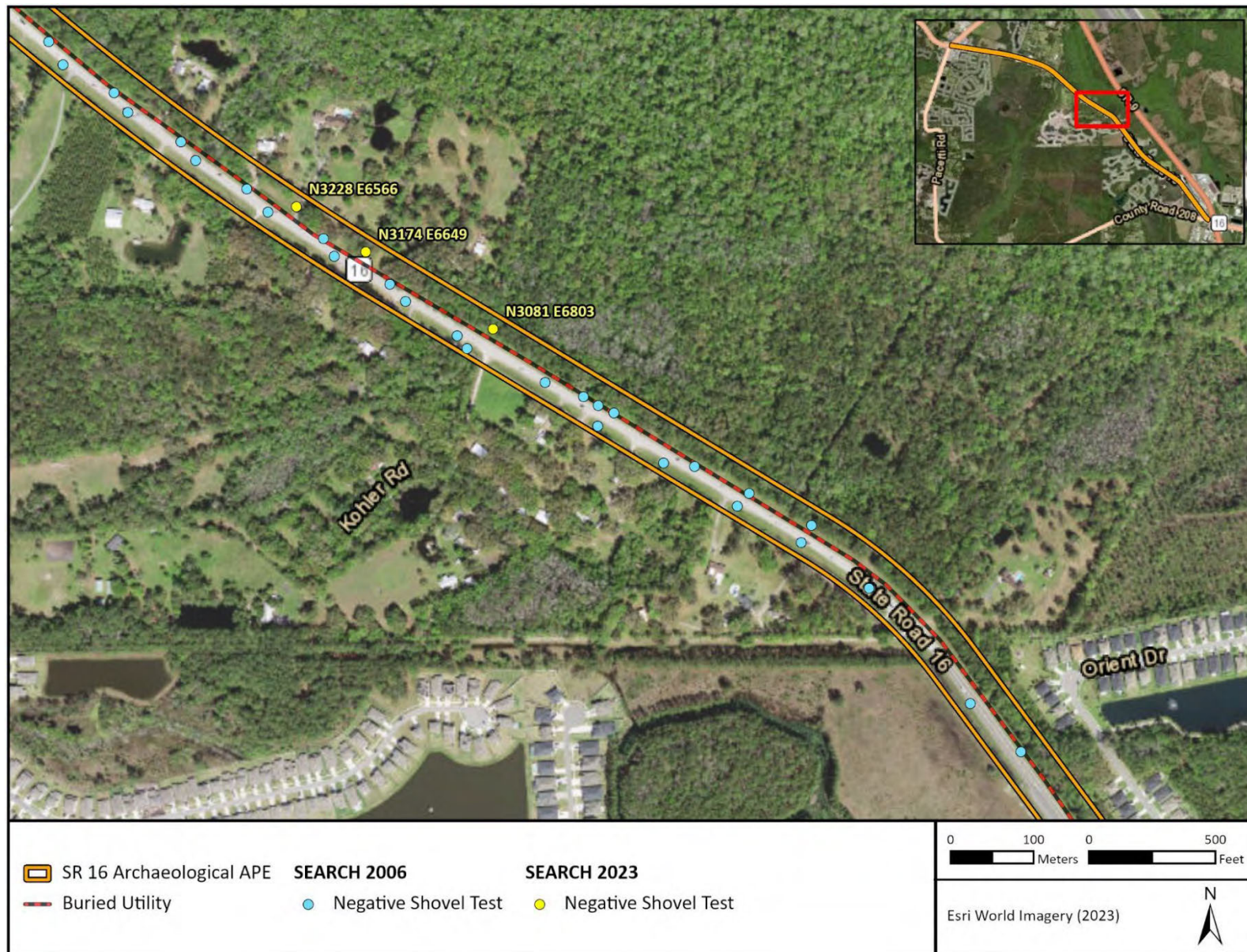


Figure 15. Results of archaeological testing within the APE, map 4 of 7.



Figure 16. Results of archaeological testing within the APE, map 5 of 7.

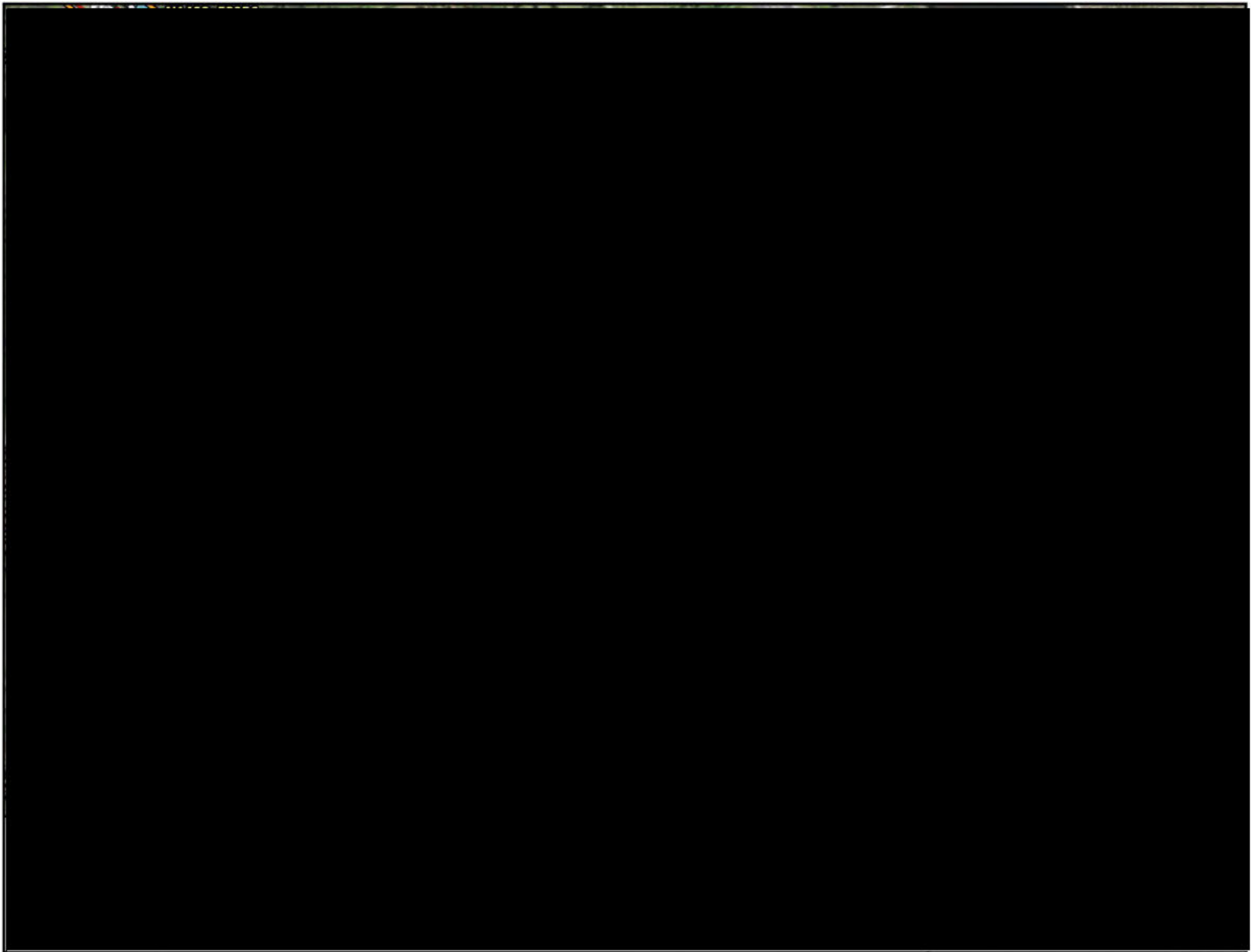


Figure 17. Results of archaeological testing within the APE, map 6 of 7.



Figure 18. Results of archaeological testing within the APE, map 7 of 7





Figure 19. Representative views of the SR 16 APE. Top left: soil profile of shovel test N1420 E8457, north wall. Top right: environmental overview at shovel test N1420 E8457, view north. Bottom left: environmental overview at shovel test N2406 E7582, view east. Bottom right: soil profile of shovel test N2406 E7582, south wall.

## Previously Recorded Sites





[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

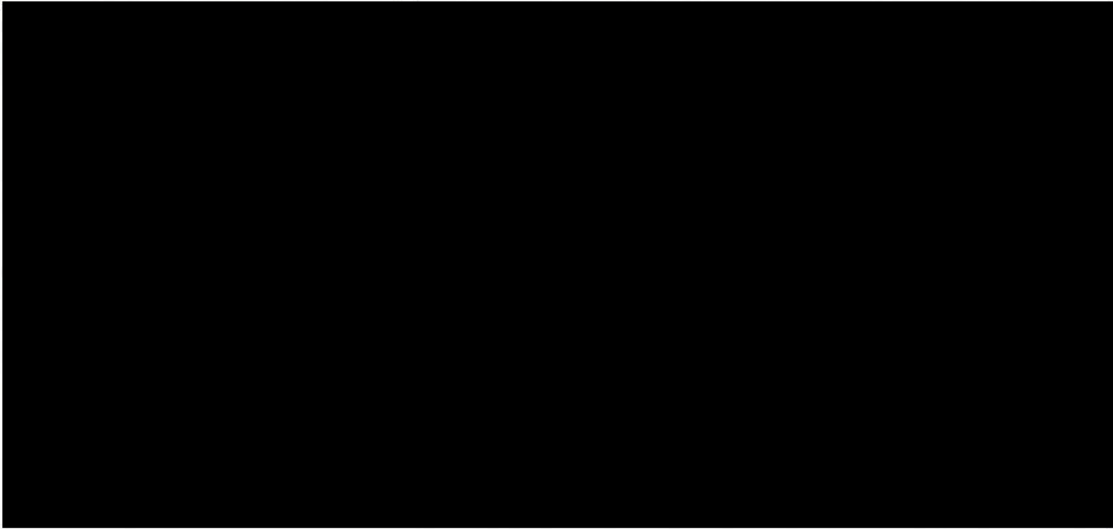


Figure 20. Representative soil profile from HPA east of 8SJ05310 (left). Overview of 8SJ05310, view west (right).



Figure 21. Site map of 8SJ05310.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

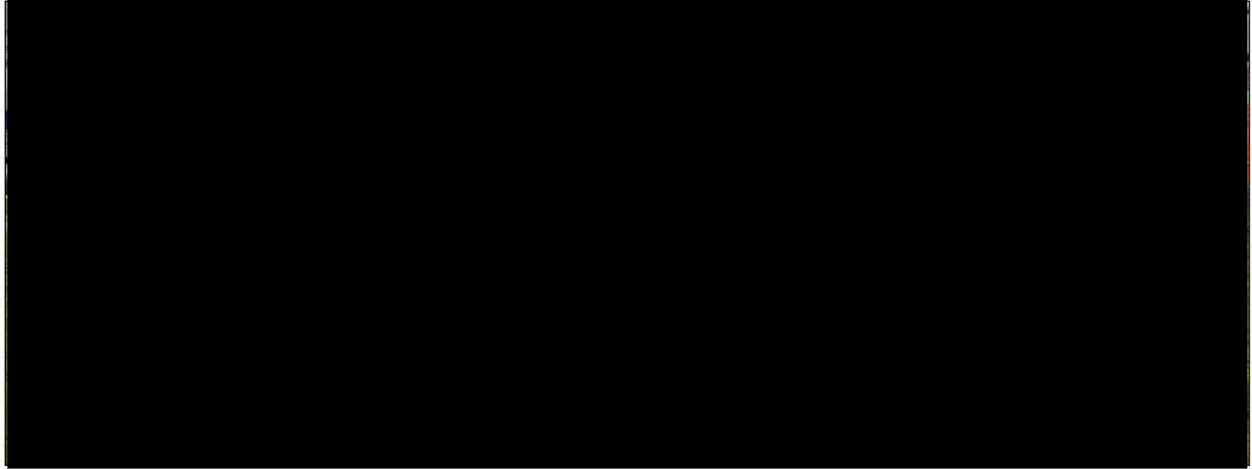


Figure 22. Overview of the west extent of 8SJ05237 within the APE, view southeast (left). Overview of the east extent of 8SJ05237 within the APE, view northwest (right).



Figure 23. Site map of 8SJ05237 within SR 16 APE.

## ARCHITECTURAL RESOURCES

The architectural survey resulted in the identification and evaluation of 15 historic resources within the project APE, including four previously recorded resources (Table 5; Figure 24). The previously recorded resources include four historic structures (8SJ04044, 8SJ05074–8SJ05076). Newly recorded resources include 11 historic structures (8SJ08214–8SJ08224). Based on the results of the current survey, one resource (8SJ08220) is obscured from the ROW and cannot be evaluated, and the 14 remaining resources lack the historical significance and architectural or engineering distinction necessary for NRHP eligibility (Table 6).

**Table 5. Summary of Previously and Newly Recorded Historic Resources.**

Resource Type	Number of Resources Identified	Number of Resources with Updated FMSF Forms	Number of Resources Determined National Register Eligible
<b>Previously Recorded Resources</b>			
Buildings	4	4	0
<b>Newly Recorded Resources</b>			
Buildings	11	11	0
<b>Total</b>	<b>15</b>	<b>15</b>	<b>0</b>

**Table 6. Historic Resources Recorded within the Architectural History APE.**

FMSF Number	Name/Address	Style	Year Built	Recommended NRHP Status
<b>Previously Recorded Resources</b>				
8SJ04044	3955 SR 16	Frame Vernacular	1930	Ineligible
8SJ05074	3975 SR 16	Ranch	1947	Ineligible
8SJ05075	4610 SR 16	Frame Vernacular	1941	Ineligible
8SJ05076	4700 SR 16	Masonry Vernacular	1955	Ineligible
<b>Newly Recorded Resources</b>				
8SJ08214	4606 SR 16	Frame Vernacular	1970	Ineligible
8SJ08215	4590 SR 16	Ranch	1972	Ineligible
8SJ08216	4571 SR 16	Masonry Vernacular	1970	Ineligible
8SJ08217	4585 SR 16	Other/Mobile Home	1973	Ineligible
8SJ08218	4605 SR 16	Masonry Vernacular	1977	Ineligible
8SJ08219	4065 SR 16	Ranch	1969	Ineligible
8SJ08220	3940 SR 16	Frame Vernacular	1973	Insufficient Information
8SJ08221	3795 SR 16	Ranch	1975	Ineligible
8SJ08222	3726 SR 16	Ranch	1960	Ineligible
8SJ08223	3050 SR 16	Ranch	1973	Ineligible
8SJ08224	2580 SR 16	Masonry Vernacular	1975	Ineligible



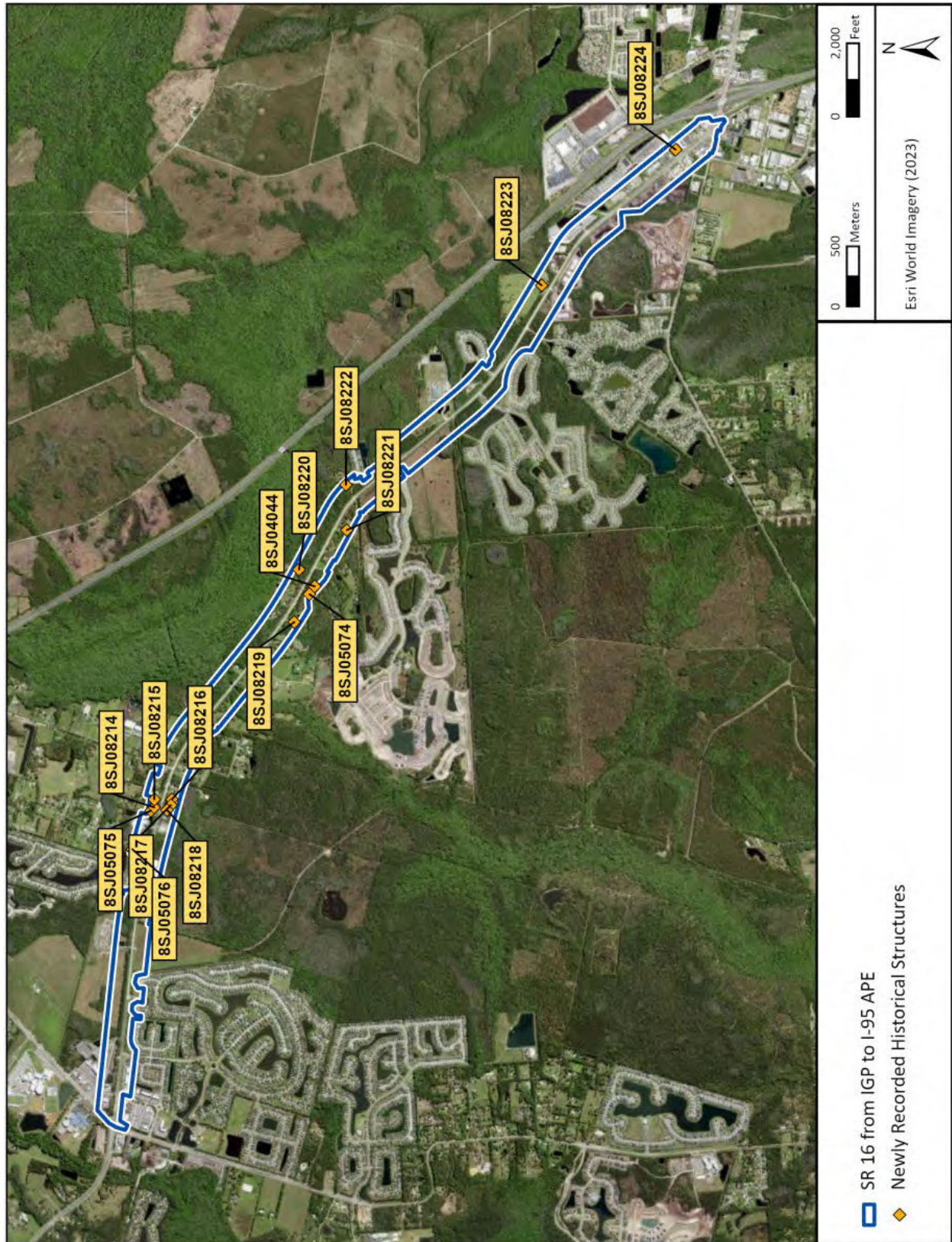


Figure 24. Architectural history survey results within the project APE.



Resource descriptions and evaluations are provided below. The FMSF resource forms and associated maps and photographs are provided in **Appendix A**. The survey log sheet is provided in **Appendix B**.

Additionally, two previously recorded resources (8SJ04042 and 8SJ04043) were determined during the survey to have been demolished or removed. A demolition letter has been sent to SHPO, and a copy is provided in **Appendix C**.

## Architectural Styles Represented in the APE

The APE includes four major architectural styles representing twentieth-century architecture. **Table 7** provides the major architectural styles in the APE, along with the number and percentages of resources of each style.

### *Frame Vernacular*

The Frame Vernacular style represents those ordinary wood-framed buildings designed on a basis of local need, material availability, and tradition (**Figure 25**). The local environment and experience of the builder, who was often not architecturally trained, provide more influence over the product than in most other styles (City of Miami 2017; Glassie 1990). Decoration is often sparse; however, examples of Frame Vernacular may be influenced by a variety of high styles.

Characteristics of the Frame Vernacular style often include:

- Balloon frame;
- Rectangular plan;
- One to two stories;
- Wood siding: weatherboard, drop siding, etc.; and
- Siding that may have been replaced with vinyl, aluminum, asbestos shingle, etc. (City of Miami 2017)

**Table 7. Major Architectural Styles within the APE.**

Style	Number of Examples	Percentage
Frame Vernacular	4	26.67%
Masonry Vernacular	4	26.67%
Mobile Home	1	6.67%
Ranch	6	40.00%



**Figure 25. Resource 8SJ04044 provides an example of the Frame Vernacular style within the APE. Photograph facing west.**

## ***Masonry Vernacular***

Much like the Frame Vernacular style, Masonry Vernacular buildings were designed on a basis of local need, material availability, and tradition (**Figure 26**). Materials of this style include brick, cement block, oolitic limestone, Ocala block, hollow clay tile, stucco, and stone. Decoration is often sparse. However, examples of Masonry Vernacular may be influenced by a variety of high styles.

Characteristics of the Masonry Vernacular style vary widely based on location, need, and experience.

The style is further characterized by:

- Simple, geometric forms;
- Relatively unadorned exterior;
- Some variation of stone, concrete, brick, or stucco as the exterior material; and
- Design meant to take advantage of the environment and site. (McAlester 2013)

## ***Mobile Home***

In the 1930s, travel trailers and campers emerged as some of the earliest examples of mobile homes (**Figure 27**). Their small size (they were generally no wider than 8 ft in the 1930s) meant that their use was most often restricted to that of a more mobile and transient nature (McAlester 2013:159). Symbols of motion, such as lightning or waves, were popular in early trailer design. Streamlined, vehicle-like bodies dominated the market. Doors usually featured a porthole or a rounded square window. The trailers were often metallic, rounded at front and back, the trailers were short in length, generally around 25 feet (Wallis 1991).



**Figure 26.** Resource 8SJ08218 provides an example of the Masonry Vernacular style within the APE. Photograph facing southwest.



**Figure 27.** Resource 8SJ08217 provides an example of the Mobile Home style within the APE. Photograph facing south.



The mindset toward mobile homes began to change during World War II, when they were used in a semi-permanent manner to accommodate workers who had relocated to join the war effort in the various wartime industries (McAlester 2013:150). After the war, designers began creating mobile homes that would allow for more permanent residence (McAlester 2013; Wallis 1991). Manufacturers began offering several upgrades, including picture windows and bay windows. Trailer manufacturers experimented with foldout porches, awnings, and other details for convenience on site. Trailer length and width often increased. In 1954, at the Florida Mobile Home Exposition in Sarasota, Elmer Frey introduced a trailer 10 feet wide and up to 50 feet long. It was built on a wood frame rather than a chassis (Wallis 1991).

As trailers increased in length, a distinction grew between the mobile home and the house trailer. Over time, interiors of house trailers were made more house-like, while the exteriors continued to appear vehicular. Nonetheless, Wallis notes that “the more sculptural shaping of the sides of the trailer for streamlining had given way to a boxier appearance better suited to the utilization of interior space” (Wallis 1989:40).

Common types of trailer homes include the single-shed development, featuring an enclosed or open self-supported structure attached along the entry side of the mobile home, and the double-shed development, consisting of the original trailer flanked on both sides by sheds (Wallis 1989:41).

### ***Ranch House***

The evolution of the Ranch style had multiple centers: the Chicago area, inspired by the Prairie Houses of Frank Lloyd Wright; the American southwest, the vestiges of working ranches providing inspiration; and California, where rapid growth in the early part of the twentieth century called for a new vernacular architecture undertaking (**Figure 28**) (Timberg 2005). California in the 1930s saw architects Cliff May, H. Roy Kelley, William Wurster, and others, adapting traditional houses of southwestern ranches, haciendas, and Spanish Colonial Revival styles to a suburban plan (NPS 2002:66). The initial popularity of the Ranch style can be attributed to its affordability and its references to the culture of the American West (Hubka 1995). Their ease of construction further contributed to their popularity during the post-World War II period, when families left the cities in droves (Salant 2006). The Ranch style was the most prevalent in the United States between 1940 and 1970 (Salant 2006). Exterior material of early ranches focused on natural material and often included adobe, board and batten, and brick (NPS



**Figure 28. Resource 8SJ08215 provides an example of the Ranch House style within the APE. Photograph facing north.**

2002:66). As the twentieth century progressed, concrete block, stucco, and other materials were also used.

Characteristics of the Ranch style often include:

- Single story;
- Emphasis on horizontality;
- Low-pitched roofs with deep set eaves;
- Set parallel to the street;
- Rectangular, L-, or U-shaped plan;
- Open plans;
- Wide chimneys;
- Attached and integrated garages;
- Modest stylistic details; and
- Picture windows.

## NRHP Evaluations and Results

### *Buildings*

*8SJ04044, 3955 SR 16*

Resource 8SJ04044 (3955 SR 16) is a previously recorded ca. 1930 house in St. Johns County. The resource is in Section 41 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The Frame Vernacular residence is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 29**). Resource 8SJ04044 is a one-story, Frame Vernacular house on a rectangular plan raised above grade on a concrete block foundation. 5V crimp sheet metal covers the steeply pitched, cross-gabled roof, and wood clapboard clads the walls. The windows are paired, aluminum, sash windows with a nine-over-six configuration flanking the entry and creating a symmetrical elevation. The main entrance is on the south façade on a porch that projects from the main massing under the cross gabled roof.



**Figure 29. Resource 8SJ04044 facing southwest.**

## Assessment

Resource 8SJ04044 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ04044 ineligible for inclusion in the NRHP.

### *8SJ05074, 3975 SR 16*

Resource 8SJ05074 (3975 SR 16) is a previously recorded house in St. Johns County. The resource is in Section 26 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map and is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 30**). Resource 8SJ05074 is a ca. 1947, one-story, Ranch-style residence with a rectangular plan set at grade on a concrete slab foundation. Metal 5V covers the shallow-pitched gable roof, and the exterior walls are brick with weatherboard accents. The windows consist of vinyl-framed sash windows with vinyl inserts to create a six-over-six configuration and are irregularly placed. The main entrance is on the southwest façade and consists of a wood-paneled door.



**Figure 30. Resource 8SJ05074 facing west.**

## Assessment

Resource 8SJ05074 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ05074 ineligible for inclusion in the NRHP.

### *8SJ05075, 4610 SR 16*

Resource 8SJ05075 (4610 SR 16) is a previously recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS



quadrangle map. The ca. 1941 building is on a rectangular parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 31**). Resource 8SJ05075 is a one-story, irregularly shaped Frame Vernacular-style residence with a continuous concrete foundation. The residence has a steep gable on hip and a flat roof covered in asphalt shingles and composition roll. The exterior is clad with aluminum and vinyl siding. The windows are vinyl sash windows; the front entrance is a metal door in a recessed screened porch on the northeast façade.

### Assessment

Resource 8SJ05075 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ05075 ineligible for inclusion in the NRHP.



**Figure 31. Resource 8SJ05075 facing northeast.**

### *8SJ05076, 4700 SR 16*

Resource 8SJ05076 (4700 SR 16) is a previously recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1955 building is on a rectangular parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 32**). Resource 8SJ05076 is a one-story, Masonry Vernacular residence with a rectangular plan raised above grade on a concrete block foundation. Asphalt shingles cover the shallow-pitched gable roof, and the exterior walls are clad in concrete block. The front porch is in the center of the southwest façade and is completely screened in. Windows consist of aluminum-framed sash windows with six-over-six and one-over-one configurations. The main entrance is off the screened porch on the southwest façade.



**Figure 32. Resource 8SJ05076 facing northeast.**

## Assessment

Resource 8SJ05076 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ05076 ineligible for inclusion in the NRHP.

### *8SJ08214, 4606 SR 16*

Resource 8SJ08214 (4606 SR 16) is a newly recorded commercial building in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1970 building is on a rectangular parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 33**). Resource 8SJ08214 is a one-story, Frame Vernacular, commercial building with a rectangular plan on a poured-concrete slab foundation. The gable roof is covered in asphalt shingles, and the exterior walls are clad in painted concrete block. The residence has several aluminum casement windows, and the front entrance is in the center of the southwest façade. The porch that extends along the southwest elevation is supported by braced square posts.



**Figure 33. Resource 8SJ08214 facing northeast.**

## Assessment

Resource 8SJ08214 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08214 ineligible for inclusion in the NRHP.



### 8SJ08215, 4590 SR 16

Resource 8SJ08215 (4590 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1970 building is on a rectangular parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 34**). Resource 8SJ08215 is a one-story, Ranch-style residence with a rectangular plan set at grade on a concrete slab foundation. Metal 5V crimp covers the steeply pitched gable roof, and the exterior walls are concrete block. The front porch features brick and mesh windows. The windows consist of vinyl sash windows with a one-over-one configuration. The front entrance is obscured by vegetation.



**Figure 34. Resource 8SJ08215 facing south.**

### Assessment

Resource 8SJ08215 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08215 ineligible for inclusion in the NRHP.

### 8SJ08216, 4571 SR 16

Resource 8SJ08216 (4571 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1970 building is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 35**). Resource 8SJ08216 is a one-story, Masonry Vernacular residence with an L-shaped plan set at grade on a concrete slab foundation. Metal 5v crimp covers the shallow-pitched, gross-gabled roof, and stucco clads the exterior walls. The front façade features a raised deck with wood railing on the east elevation. Windows are vinyl-



**Figure 35. Resource 8SJ08216 facing west.**

framed sash windows with a six-over-six configuration. The front entrance is off the raised porch on the east façade.

### Assessment

Resource 8SJ08216 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08216 ineligible for inclusion in the NRHP.

### *8SJ08217, 4585 SR 16*

Resource 8SJ08217 (4585 SR 16) is a newly recorded mobile home in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1973 building is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 36**). Resource 8SJ08217 is a one-story Mobile Home with a rectangular plan set on obscured piers. The flat roof is covered in composition roll, and the walls are clad in metal. Windows are aluminum-framed windows with a one-over-one and a six-over-six configuration. The main entrance is on the south façade.



**Figure 36. Resource 8SJ08217 facing south.**

### Assessment

Resource 8SJ08217 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08217 ineligible for inclusion in the NRHP.



### 8SJ08218, 4605 SR 16

Resource 8SJ08218 (4605 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1977 building is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 37**). Resource 8SJ08218 is a one-story, Masonry Vernacular residence with a rectangular plan raised above grade on a concrete block pier foundation. Metal 5V crimp covers the gable roof, and the exterior walls are concrete block. The windows are aluminum-framed sash windows with one-over-one and two-over-two configurations. The main entrance is on the southwest façade off a porch.

#### Assessment

Resource 8SJ08218 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08218 ineligible for inclusion in the NRHP.



**Figure 37. Resource 8SJ08218 facing south.**

### 8SJ08219, 4065 SR 16

Resource 8SJ08219 (4065 SR 16) is a newly recorded house within St. Johns County. The resource is in Section 26 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1969 building is on an irregularly shaped parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 38**). Resource 8SJ08219 is a one-story, Ranch-style residence with an irregular plan set at grade on a concrete slab foundation. Metal 5V crimp covers the shallow-pitched cross-gabled roof, and vinyl drop siding clads the exterior walls. Windows consist of paired, aluminum-framed sash windows with six-over-six and



**Figure 38. Resource 8SJ08219 facing south.**



one-over-one configurations. Windows are decorated with faux shutters. The main entrance is a recessed panel door on the south façade.

### Assessment

Resource 8SJ08219 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08219 ineligible for inclusion in the NRHP.

### *8SJ08220, 3940 SR 16*

Resource 8SJ08220 (3940 SR 16) is a newly recorded house within St. Johns County. The resource is not visible from the ROW or from adjacent parcels; thus, information is based on its St. Johns County Property Appraiser (SJCPA) record. The resource is in Section 41 of Township 6 South, Range 28 East, as shown on the 2021 *Bakersville, Fla.* USGS quadrangle map. The ca. 1973 building is on the southern portion of an irregularly shaped parcel bounded by SR 16 along the southern perimeter (**Figure 39**). The Frame Vernacular residence is obscured from the ROW by dense vegetation. The building is not visible from the ROW or from adjacent parcels. Its material qualities were not observed during the survey.



**Figure 39. Resource 8SJ08220 facing northwest.**

### Assessment

Based on information available from SJCPA, 8SJ08220 is a ca. 1973, Frame Vernacular residence with an irregular plan. Resource 8SJ08220 has a gable roof covered in sheet metal. The resource is not visible from the ROW due to dense vegetation between the building and the road. There is insufficient information to make an NRHP eligibility recommendation; an effects assessment is provided below.

### Effects

Resource 8SJ08220 is not visible from the ROW and sits 273 ft from the edge of pavement. Vegetation approximately 240 ft deep buffers the resource from SR 16. The project, as currently

designed, proposes that all work will occur within the existing ROW, and the 240 ft vegetative buffer will not be affected. Thus, the resource's features are not anticipated to be impacted in a manner that would diminish its integrity. Therefore, the project would result in no adverse effect to the resource.

#### *8SJ08221, 3795 SR 16*

Resource 8SJ08221 (3795 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1975 building is on a rectangular parcel bounded to the northeast by SR 16 and to the east, west, and south by private parcels (**Figure 40**). Resource 8SJ08221 is a one-story, Ranch-style residence with an L-shaped plan set at grade on a concrete slab foundation. Asphalt shingles cover the shallow-pitched hip roof, and the exterior walls are concrete block with a brick façade on the southwest elevation. The windows consist of fixed, vinyl-framed picture windows and vinyl-framed sash windows with a one-over-one configuration. The main entrance is on the southwest façade; it is a wood panel door with a roof overhang and two beams, which creates a sheltered entrance.



**Figure 40. Resource 8SJ08221 facing southwest.**

#### Assessment

Resource 8SJ08221 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08221 ineligible for inclusion in the NRHP.

### 8SJ08222, 3726 SR 16

Resource 8SJ08222 (3726 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 38 of Township 6 South, Range 28 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1960 building is on an irregularly shaped parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 41**). Resource 8SJ08222 is a one-story, Ranch-style residence with an irregular plan set at grade on a concrete slab foundation. Asphalt shingles cover the shallow-pitched, cross-gabled roof, and the exterior walls are clad in brick. The windows consist of aluminum-framed sash windows with one-over-one and six-over-six configurations and an aluminum-framed bay window. The main entrance is obscured from view by vegetation.



**Figure 41. Resource 8SJ08222 facing east.**

### Assessment

Resource 8SJ08222 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08222 ineligible for inclusion in the NRHP.

### 8SJ08223, 3050 SR 16

Resource 8SJ08223 (3050 SR 16) is a newly recorded house in St. Johns County. The resource is in Section 31 of Township 6 South, Range 29 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1973 building is on an irregularly shaped parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 42**). Resource 8SJ08223 is a one-story, Ranch-style residence with a rectangular plan on a poured-concrete slab foundation. The cross-gabled roof is covered in asphalt shingles, and the exterior is clad in brick.



**Figure 42. Resource 8SJ08223 facing east.**



and concrete block. The windows consist of vinyl-framed sash windows with one-over-one configurations and aluminum-framed awning windows. The main entrance is on the west façade and is obscured by a partially screened porch. A gable protrusion in the middle of the west-facing elevation creates a covered porch at the entry. It is supported by wooden posts.

### Assessment

Resource 8SJ08223 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08223 ineligible for inclusion in the NRHP.

### *8SJ08224, 2580 SR 16*

Resource 8SJ08224 (2580 SR 16) is a newly recorded hotel in St. Johns County. The resource is in Section 6 of Township 7 South, Range 29 East, as depicted on the 2021 *Bakersville, Fla* USGS quadrangle map. The ca. 1975 building is on a rectangular parcel bounded to the southwest by SR 16 and to the east, west, and north by private parcels (**Figure 43**). Resource 8SJ08224 is a two-story, Masonry Vernacular hotel with a rectangular plan on a poured-concrete slab foundation. The mansard roof is covered in sheet metal, and the flat roof is built up. The exterior walls are clad in concrete block and stucco. The main block of rooms is a two-story building, and the office is in an attached one-story building on the south end of the two-story building. The rooms are accessed from exterior metal doors and have fixed picture windows. A staircase at each end of the building provides access to the rooms on the second floor.



**Figure 43. Resource 8SJ08224 facing northeast.**

### Assessment

Resource 8SJ08224 is not significant under Criterion A because it is not indicative of a particular era and is not associated with any significant period, event, or theme. The resource is not significant under Criterion B because it lacks association with any person(s) significant in history. Additionally, the resource is not significant under Criterion C due to its lack of architectural distinction. Finally, the resource is not significant under Criterion D because it lacks the potential to yield further information of historical importance. Therefore, SEARCH recommends 8SJ08224 ineligible for inclusion in the NRHP.



## CONCLUSION AND RECOMMENDATIONS

This report presents the findings of a CRAS conducted in support of the improvements to SR 16 in St. Johns County, Florida. The Florida Department of Transportation, District 2, is proposing improvements to SR 16 from International Golf Parkway to I-95. The proposed improvements include reconstructing the existing two-lane road to four lanes and adding multi-use paths. The project limits begin at International Golf Parkway and continue southeast, crossing over Turnbull Creek, to just west of Interstate 95. Proposed improvements will be constructed within the existing SR 16 ROW; no additional ROW is required.

The archaeological survey consisted of pedestrian survey and systematic shovel testing in portions of the APE not covered by previous Module Three-compliant cultural resource surveys. As such, archaeological testing during the current survey was conducted within untested portions of the ROW, and a total of 14 shovel tests were excavated. All shovel tests were negative for artifacts; an additional 35 no-dig points were recorded where testing was not possible due to disturbance, buried utilities, or ground-surface inundation. No further archaeological survey is recommended in support of the SR 16 improvements project.

The architectural survey resulted in the identification and evaluation of 15 historic resources within the project APE, including four previously recorded resources and 11 newly recorded resources. The previously recorded resources include four historic structures (8SJ04044, 8SJ05074–8SJ05076). The newly recorded resources include 11 historic structures (8SJ08214–8SJ08224). Based on the results of the current survey, 14 remaining resources lack the historical significance and architectural or engineering distinction necessary for NRHP eligibility. One resource (8SJ08220) is obscured from the ROW and cannot be evaluated for eligibility; therefore, SEARCH evaluated effects to the resource that may occur because of this project, as currently proposed.

It is the opinion of SEARCH that the proposed SR 16 improvements will have no effect on cultural resources listed or eligible for listing in the NRHP. No further work is recommended.

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## **APPENDIX A.**

### **FMSF RESOURCE FORMS**



☐ Original  
☒ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ04044**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3955 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3955** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **Kohler Rd & Turnbull Dr**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **41** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0291620000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1930** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1930** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1930** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new windows**  
 Additions: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **William Crosby**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Frame Vernacular** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Wood siding** **2. Clapboard** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable-intersecting** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:5V crimp** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_

Windows (types, materials, etc.)  
**9/6 paired SHS aluminum; greenhouse box window**

Distinguishing Architectural Features (exterior or interior ornaments)  
**horizontal wood clapboard siding, faux shutters, gable vents, lattice trim at foundation**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**wire fence, heavy vegetation**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

**DESCRIPTION (continued)**Chimney: No. 2 Chimney Material(s): 1. Brick 2. \_\_\_\_\_Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Piers 2. \_\_\_\_\_Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_**Main Entrance (stylistic details)**

half lite front door sheltered by front porch under front facing gable

**Porch Descriptions (types, locations, roof types, etc.)**

elevated front gable porch with wooden handrails and support beams

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ04044 is a 1-story, Frame Vernacular house with a rectangular plan raised above grade on a concrete block foundation. 5V crimp sheet metal covers the steeply pitched cross-gabled roof, and wood clapboard clads the walls.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ04044 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_
**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**
Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological Research  
Recorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
(address / phone / fax / e-mail)
**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





8SJ04044\_a Facing South

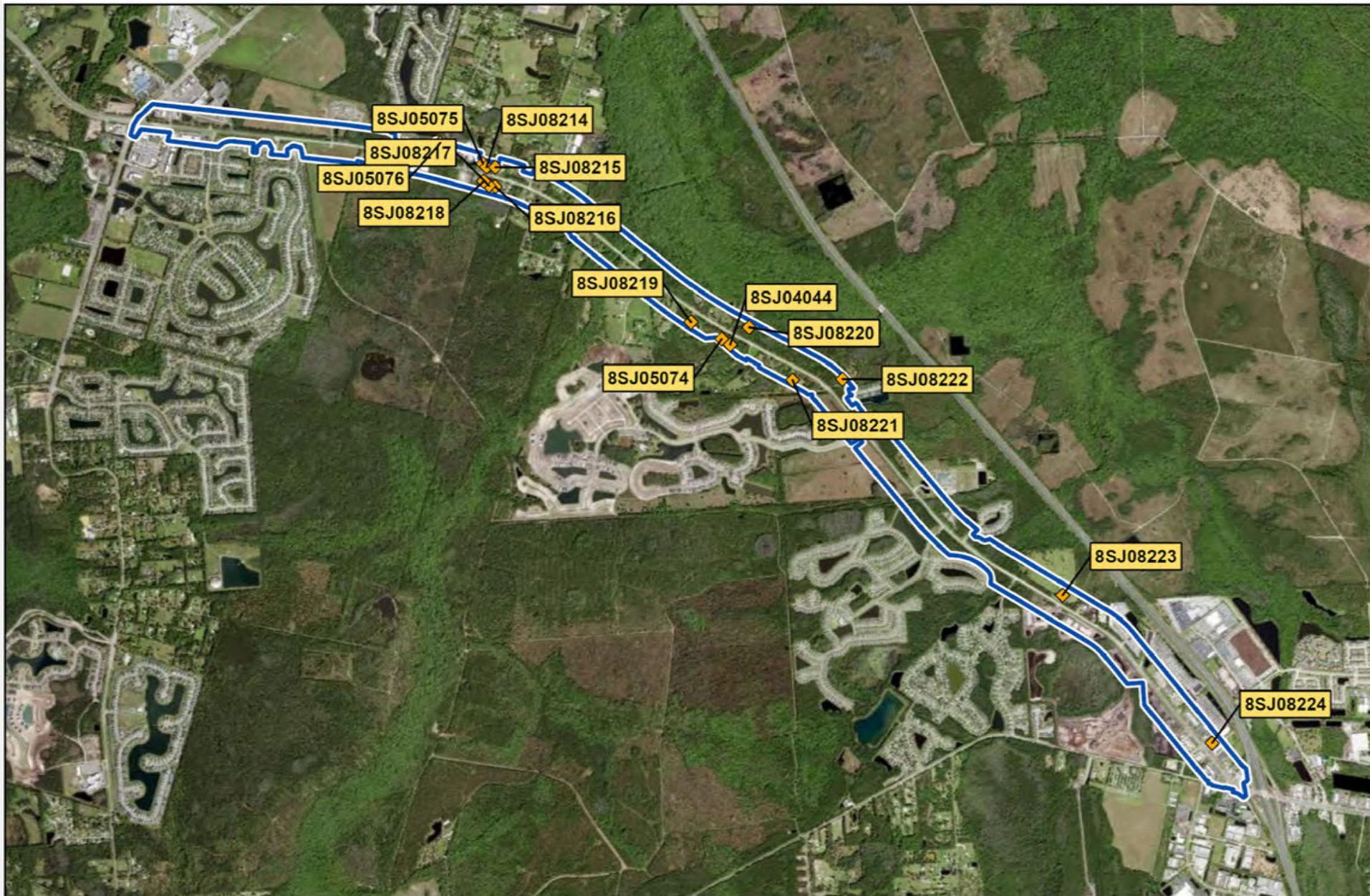


8SJ04044\_b Facing Southwest



8SJ04044\_c Facing West





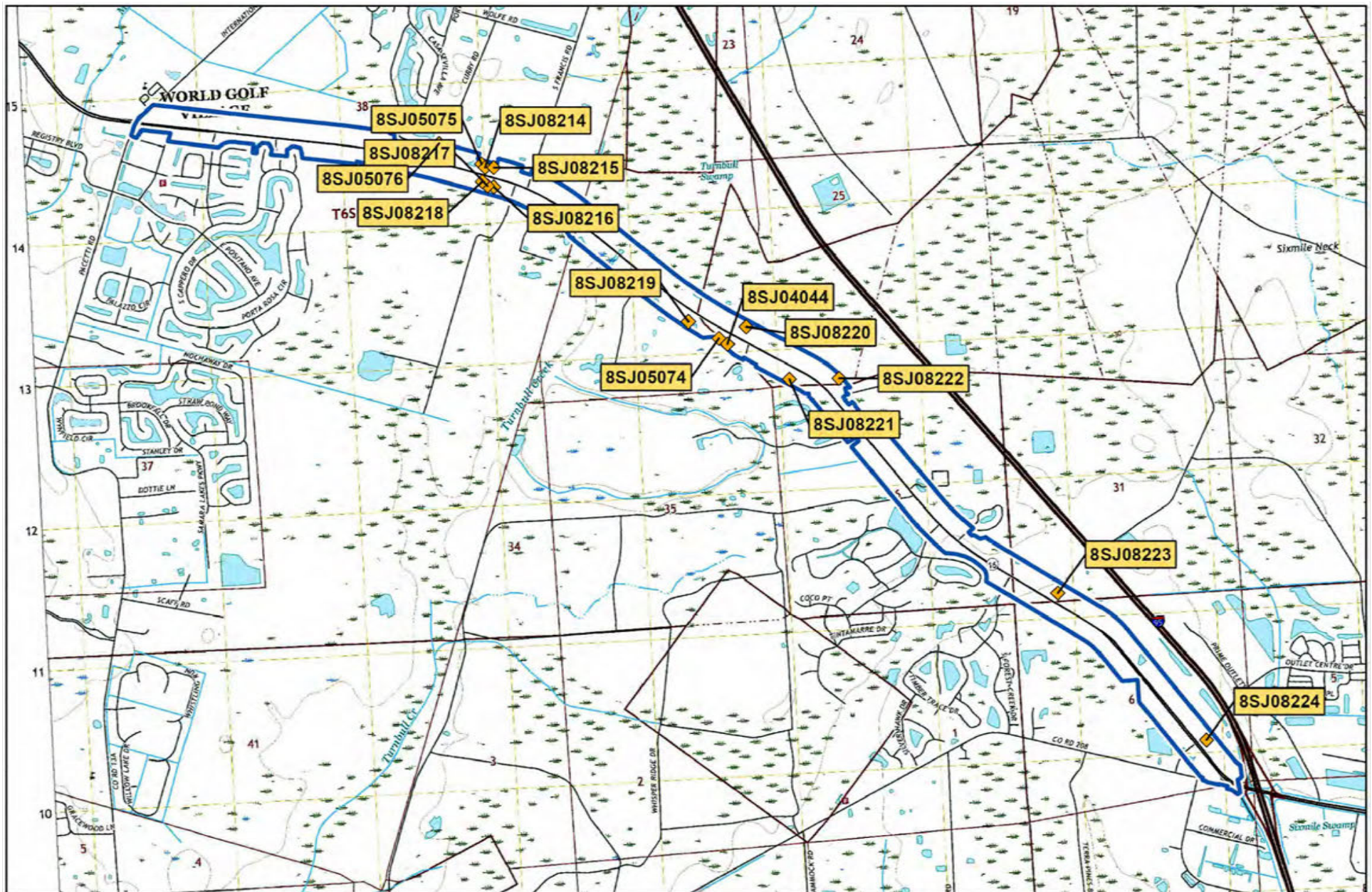
- SR 16 from IGP to I-95 APE
- Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- ▬ SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☐ Original  
☒ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ05074**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3975 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3975** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **Kohler Rd & Turnbull Dr**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **26** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0291600000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1947** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1947** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1947** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **RCBF Properties LLC**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Brick** **2. Beaded weatherboard** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:5V crimp** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_  
 Windows (types, materials, etc.)  
**6/6 SHS vinyl**

Distinguishing Architectural Features (exterior or interior ornaments)  
**faux shutters, overhang front porch supported by 2 visible columns, garage Nw façade, vertical weatherboard gable ends w/ circular gable louver**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**wire fence, thick vegetation**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**

wood-paneled 1 lite door SW façade

**Porch Descriptions (types, locations, roof types, etc.)**

overhang front porch supported by 2 visible columns, clad in vertical weatherboard

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ05074 is a 1-story, Ranch house with a rectangular plan set at grade on a concrete slab foundation. Metal 5V covers the shallow-pitched gable roof and the walls are brick with weatherboard accents.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☒ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Pedestrian/Windshield Survey

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ05074 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_

2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Southeastern Archaeological ResearchDocument description Photos, Maps, Field Notes, Aerials File or accession #'s 230292

2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_

Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





8SJ05074\_a Facing South

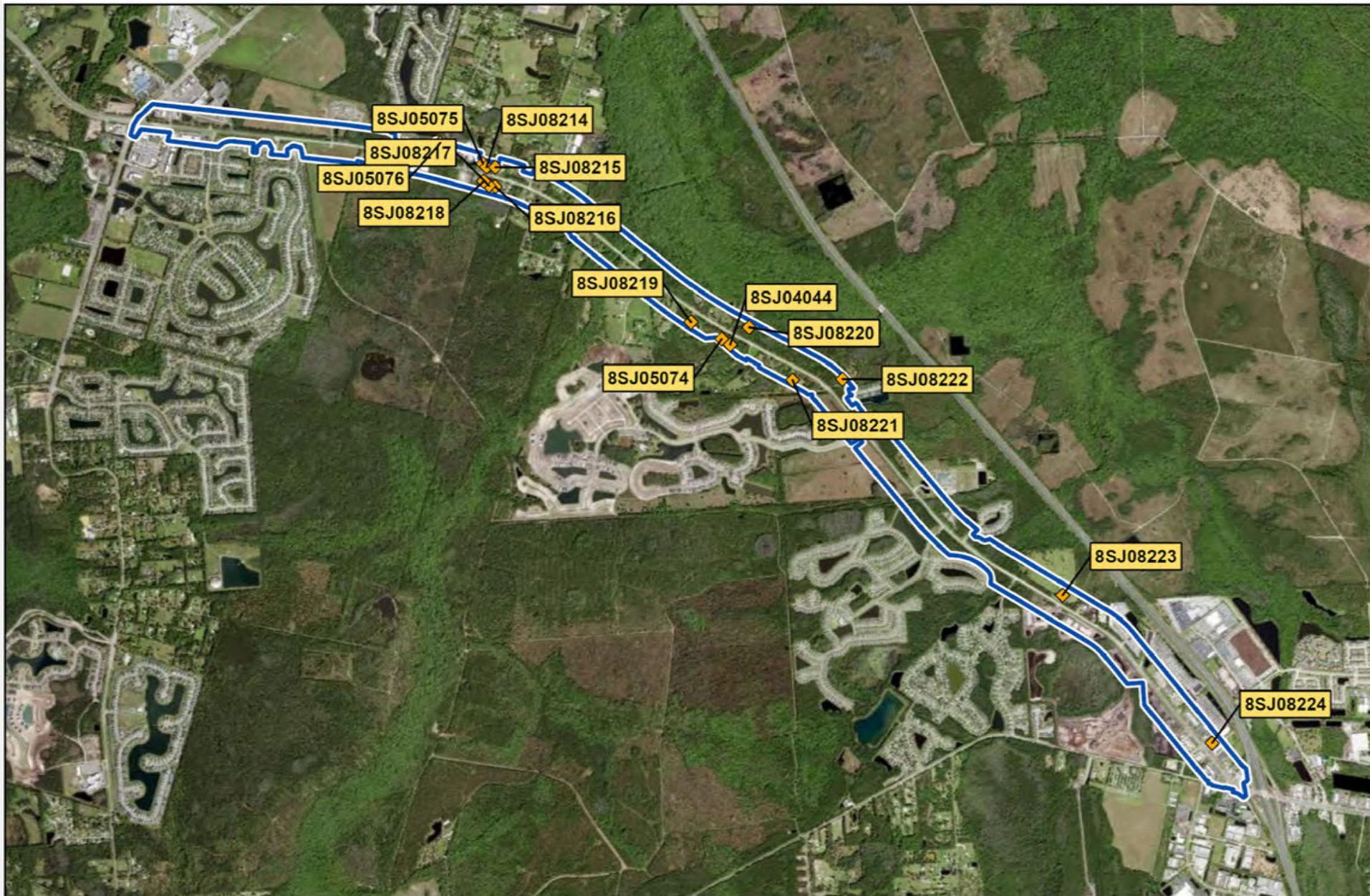




8SJ05074\_b Facing West



8SJ05074\_c Facing southwest





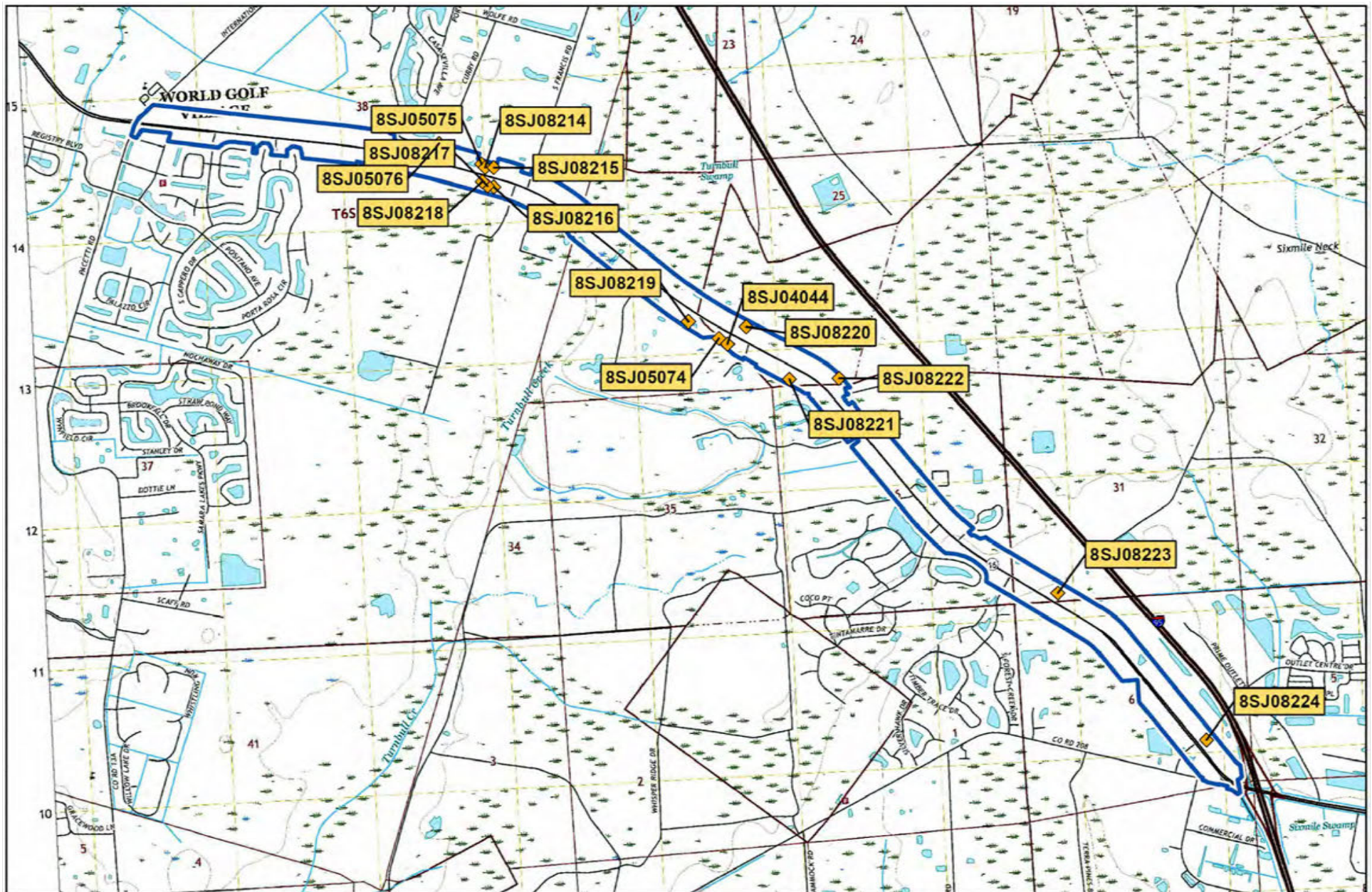
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☐ Original  
☒ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ05075**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4610 SR 16 N** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4610** **SR 16** **N**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284500000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1941** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1941** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1941** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; exterior updates**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; room addition**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Willett Karen Goodall**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Frame Vernacular** Exterior Plan **Irregular** Number of Stories **1**  
 Exterior Fabric(s) **1. Aluminum** **2. Vinyl** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable on hip** **2. Flat** **3.** \_\_\_\_\_  
 Roof Material(s) **1. Asphalt shingles** **2. Composition roll** **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_  
 Windows (types, materials, etc.)  
**6/6 vinyl SHS**

Distinguishing Architectural Features (exterior or interior ornaments)  
**vinyl weatherboard siding, faux shutters, recessed screened-in front porch, metal composite half-lite door NE façade**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**metal carport, mesh privacy fence**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**raised metal composite half-lite door NE façade**Porch Descriptions (types, locations, roof types, etc.)**recessed screened-in front porch NE façadeCondition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ05075 is a one-story, frame vernacular house with an irregular plan set at grade on a concrete slab foundation. Asphalt shingles covers the steeply pitched gable on hip roof, and vinyl weatherboard siding clads the walls.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ05075 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

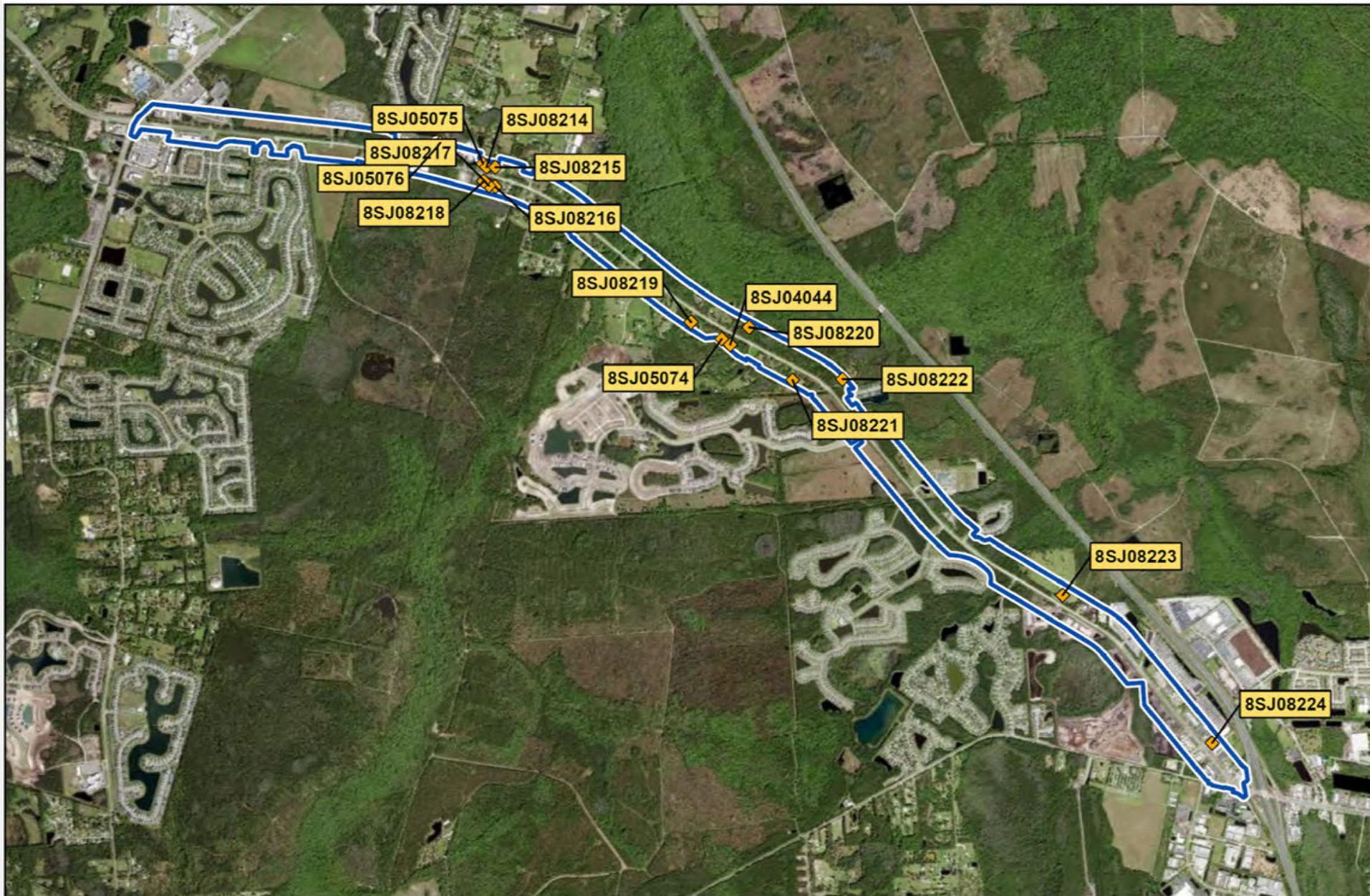
**RECORDER INFORMATION**Recorder Name Mary BonatakisAffiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
 (address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



8SJ05075\_a Facing Northeast





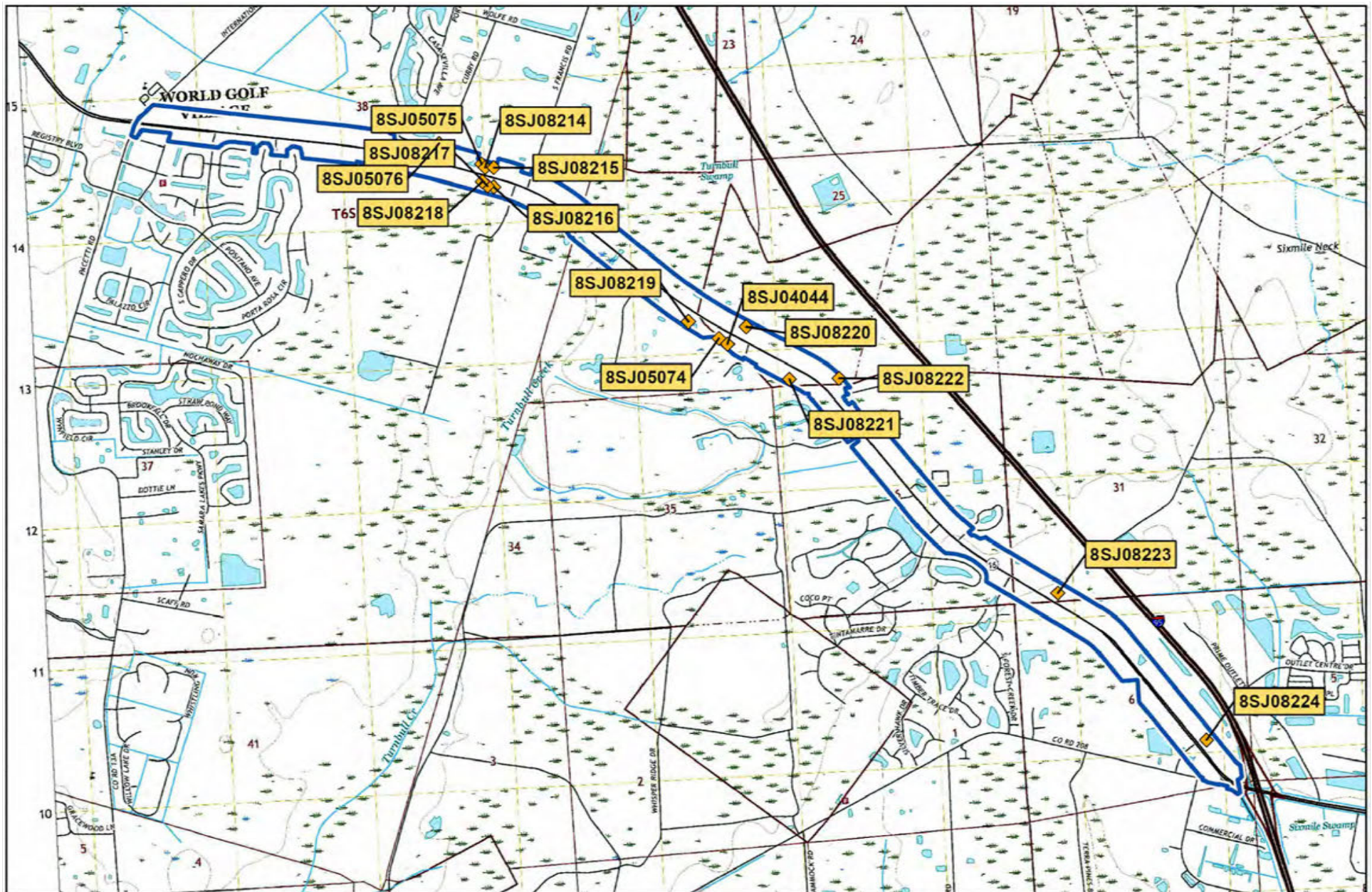
- SR 16 from IGP to I-95 APE
- Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☐ Original  
☒ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ05076**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4700 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4700** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd. & 9 Mile Rd**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0283800000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1955** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1955** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1955** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new façade and windows**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; porch added**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Louis Johnson**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Block-concrete** **2. Stucco** **3.**  
 Roof Type(s) **1. Gable** **2.** **3.**  
 Roof Material(s) **1. Asphalt shingles** **2. Composition roll** **3.**  
 Roof secondary strucs. (dormers etc.) **1.** **2.**  
 Windows (types, materials, etc.)  
**6/6 SHS, vinyl, 1/1 SHS vinyl**

Distinguishing Architectural Features (exterior or interior ornaments)  
**decorative painted brick fireplace façade, NE; screened- in front porch**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**shed, farm fencing with animals**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

**DESCRIPTION (continued)**

Chimney: No. 1 Chimney Material(s): 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Continuous 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_

**Main Entrance (stylistic details)**

double wood doors w/ 1 lite recessed under porch

**Porch Descriptions (types, locations, roof types, etc.)**

screened in front porch NE façade

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

**Narrative Description of Resource**

Resource S8J05076 is a 1-story, Masonry Vernacular house with a rectangular plan raised above grade on a concrete block foundation. Asphalt shingles cover the shallow-pitched gable roof, and the walls are concrete block. The front porch is screened in.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)****OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

Due to lack of sufficient historic significance and architectural distinction, 8SJ05076 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological Research  
 Recorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
 (address / phone / fax / e-mail)

**Required Attachments**

① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

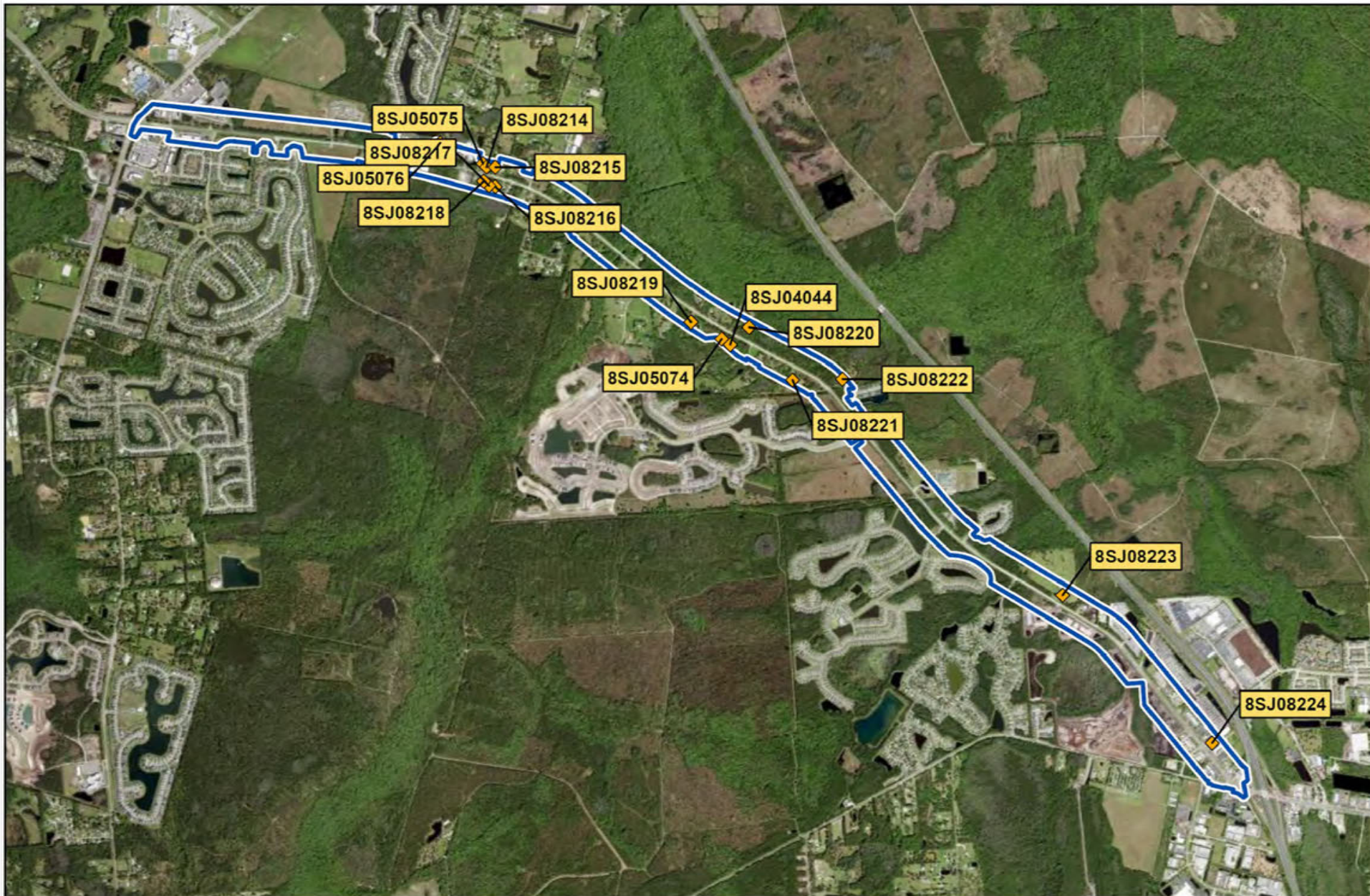
③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE



When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





8SJ05076\_a Facing Northeast



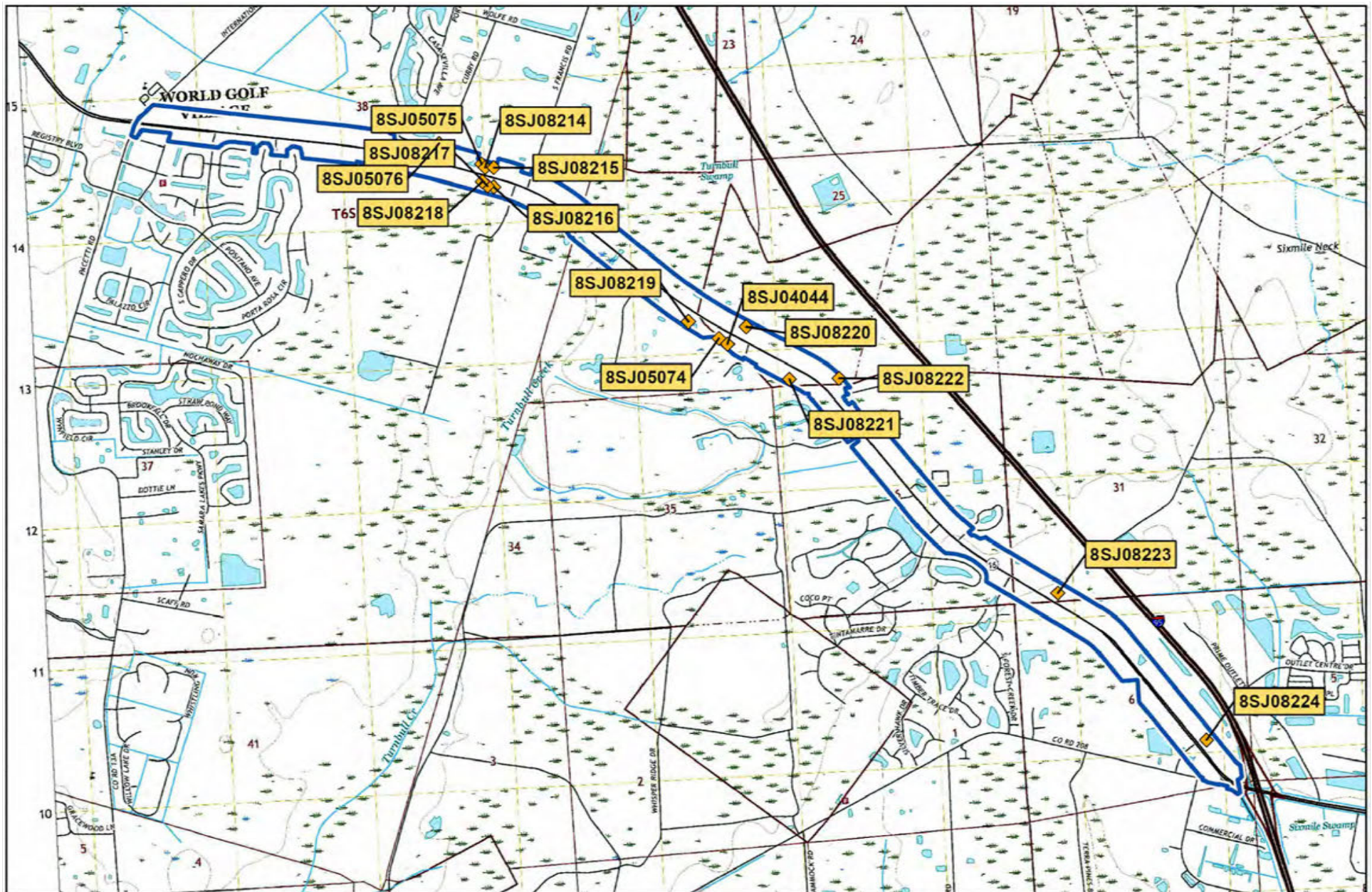
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- ▬ SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08214**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4606 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4606** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284300000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1970** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1970** To (year): **UNK**  
 Current Use **Abandoned/Vacant** From (year): **UNK** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new doors**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; building addition**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Cross County Plaza Inc**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Frame Vernacular** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Block-concrete** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) **1. Gable** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) **1. Asphalt shingles** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.)  
**Aluminum casement windows, panels of 3**  
 Distinguishing Architectural Features (exterior or interior ornaments)  
**Braced support posts line the southwest elevation**  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**remains of a paved parking area**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**

Located on the southwest façade, centered, double (french) doors with 12 lights in the upper half of each

**Porch Descriptions (types, locations, roof types, etc.)**

Extended eaves supported by braced posts creates a covered porch along the entire southwest elevation

Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08214 is a one-story Frame Vernacular residence with a rectangular plan on a poured concrete slab foundation. The gable roof is covered in asphalt shingles and the exterior walls are clad in painted concrete block.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08214 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_
**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



8SJ08214\_a Facing Northeast

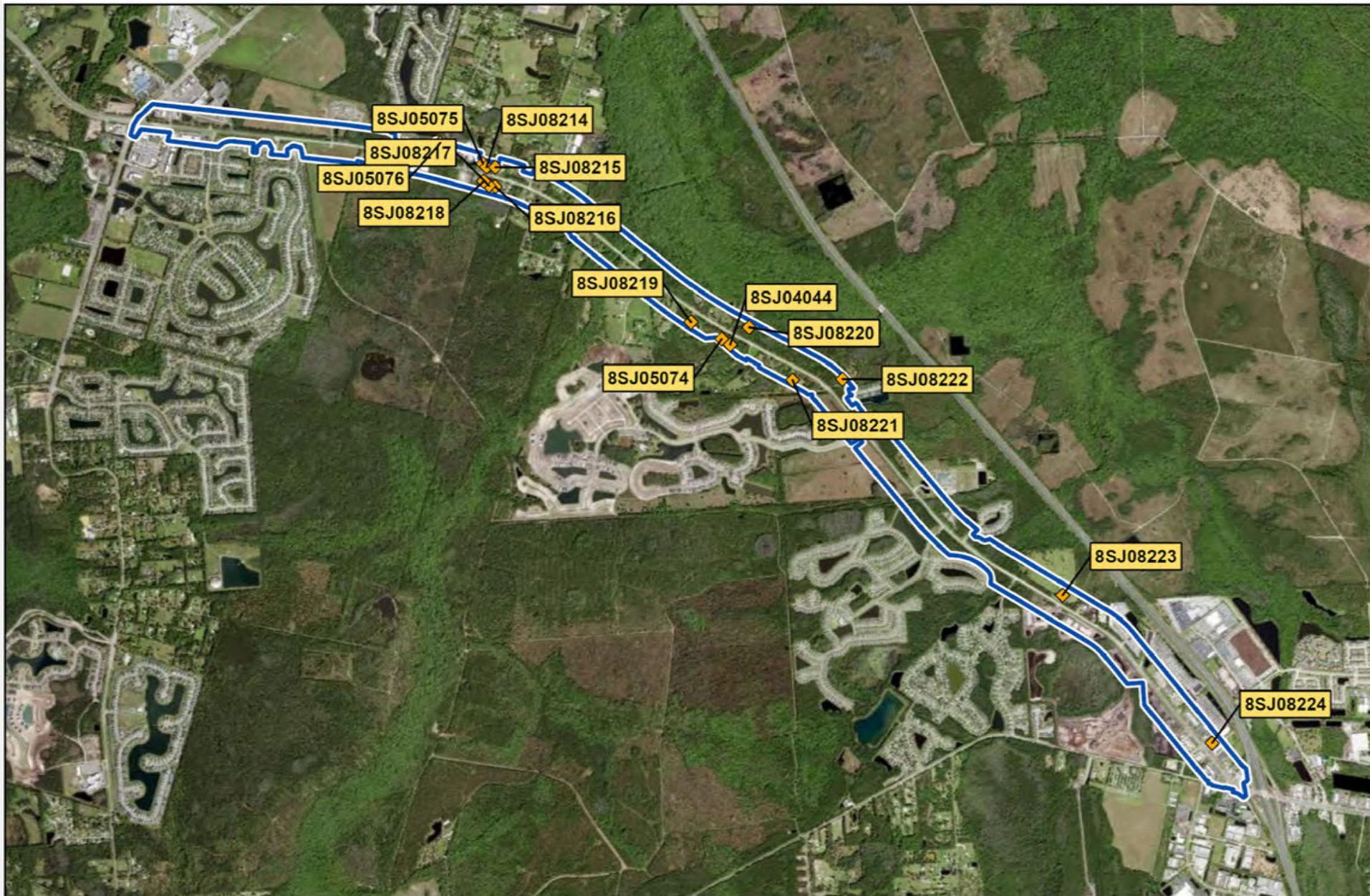




8SJ08214\_b Facing North



8SJ08214\_c Facing West





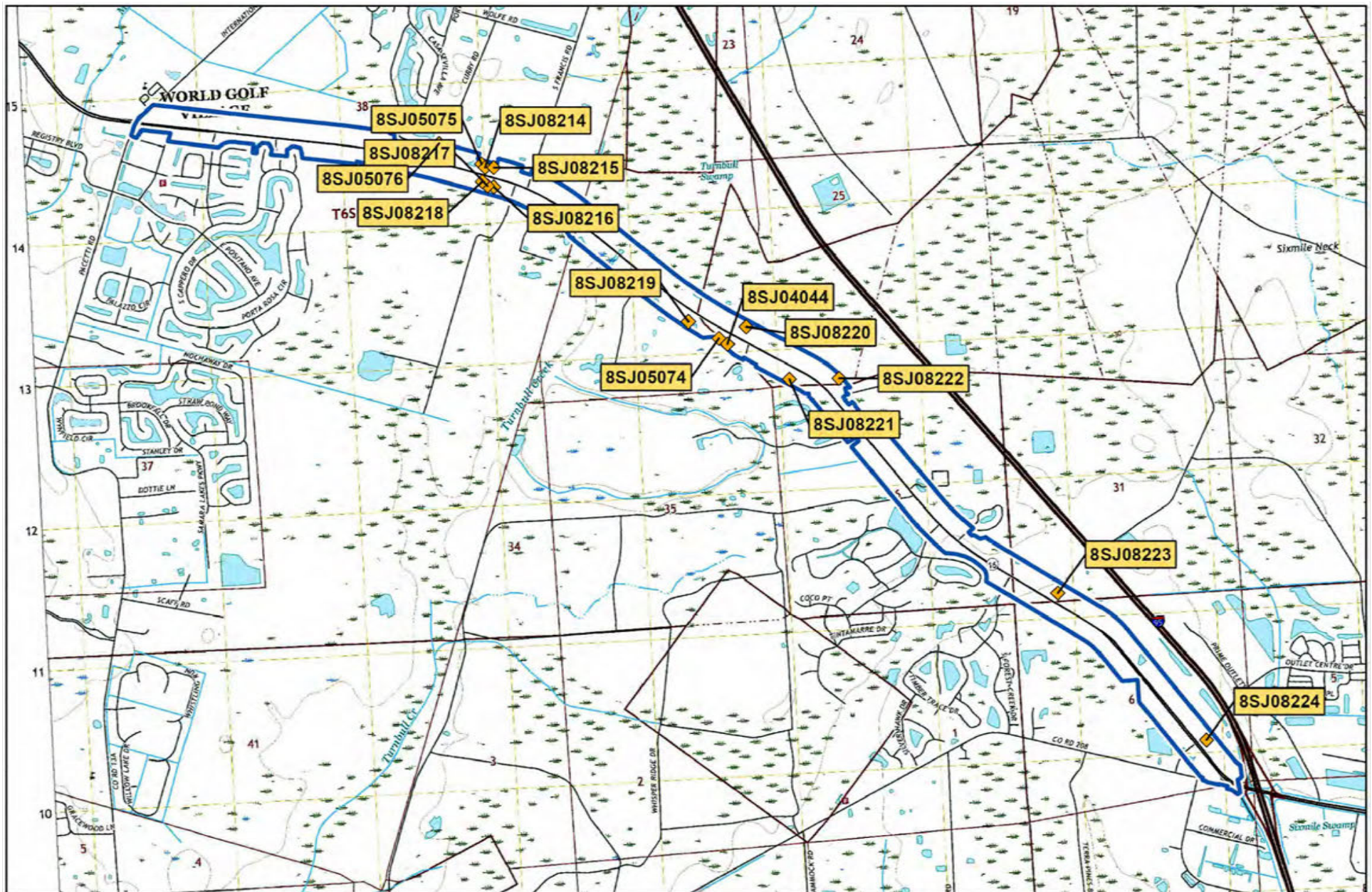
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08215**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4590 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4590** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd &**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284270030** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1972** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1972** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1972** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; New windows**  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Clyde Nance**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Block-concrete** **2. Brick** **3.**  
 Roof Type(s) **1. Gable** **2.** **3.**  
 Roof Material(s) **1. Sheet metal:5V crimp** **2.** **3.**  
 Roof secondary strucs. (dormers etc.) **1.** **2.**  
 Windows (types, materials, etc.)  
**1/1 vinyl SHS, vinyl casement**

Distinguishing Architectural Features (exterior or interior ornaments)  
**metal panel garage door, horizontal vinyl weatherboard siding in gable, brick window sills**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**driveway**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

**DESCRIPTION (continued)**

Chimney: No. 1 Chimney Material(s): 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_

**Main Entrance (stylistic details)**

obscured from view

**Porch Descriptions (types, locations, roof types, etc.)**

paired triple- paneled mesh vinyl windows, brick façade, vinyl screen door

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

**Narrative Description of Resource**

Resource 8SJ08215 is a 1-story, Ranch house with a rectangular plan set at grade on a concrete slab foundation. Metal 5V crimp covers the steeply pitched gable roof, and the walls are concrete block. The front porch features brick and mesh windows.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)****OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

Due to lack of sufficient historic significance and architectural distinction, 8SJ08215 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological Research  
 Recorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
 (address / phone / fax / e-mail)

**Required Attachments**

① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





8SJ08215\_a Facing South

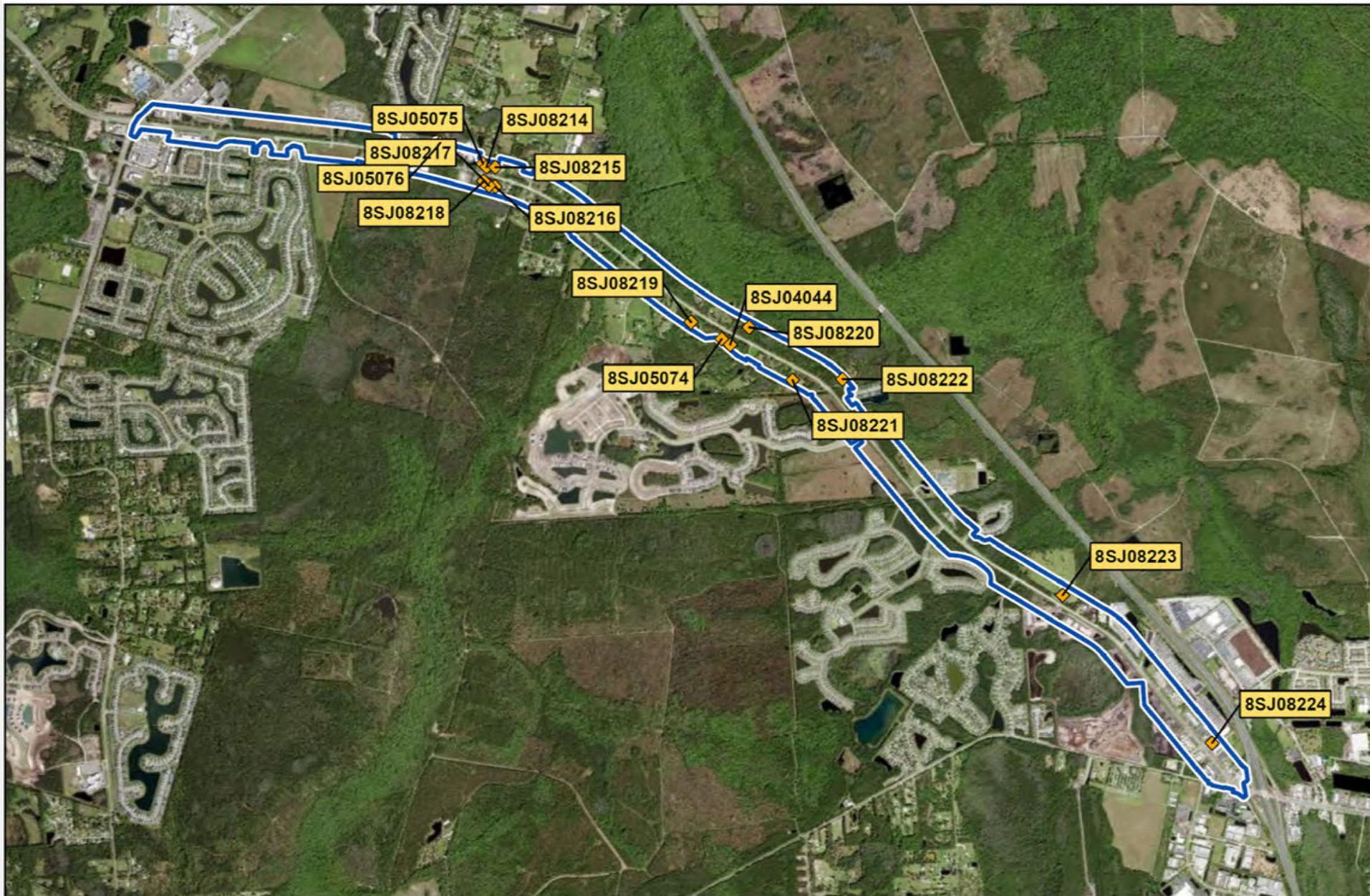




8SJ08215\_b Facing Southeast



8SJ08215\_c Facing North





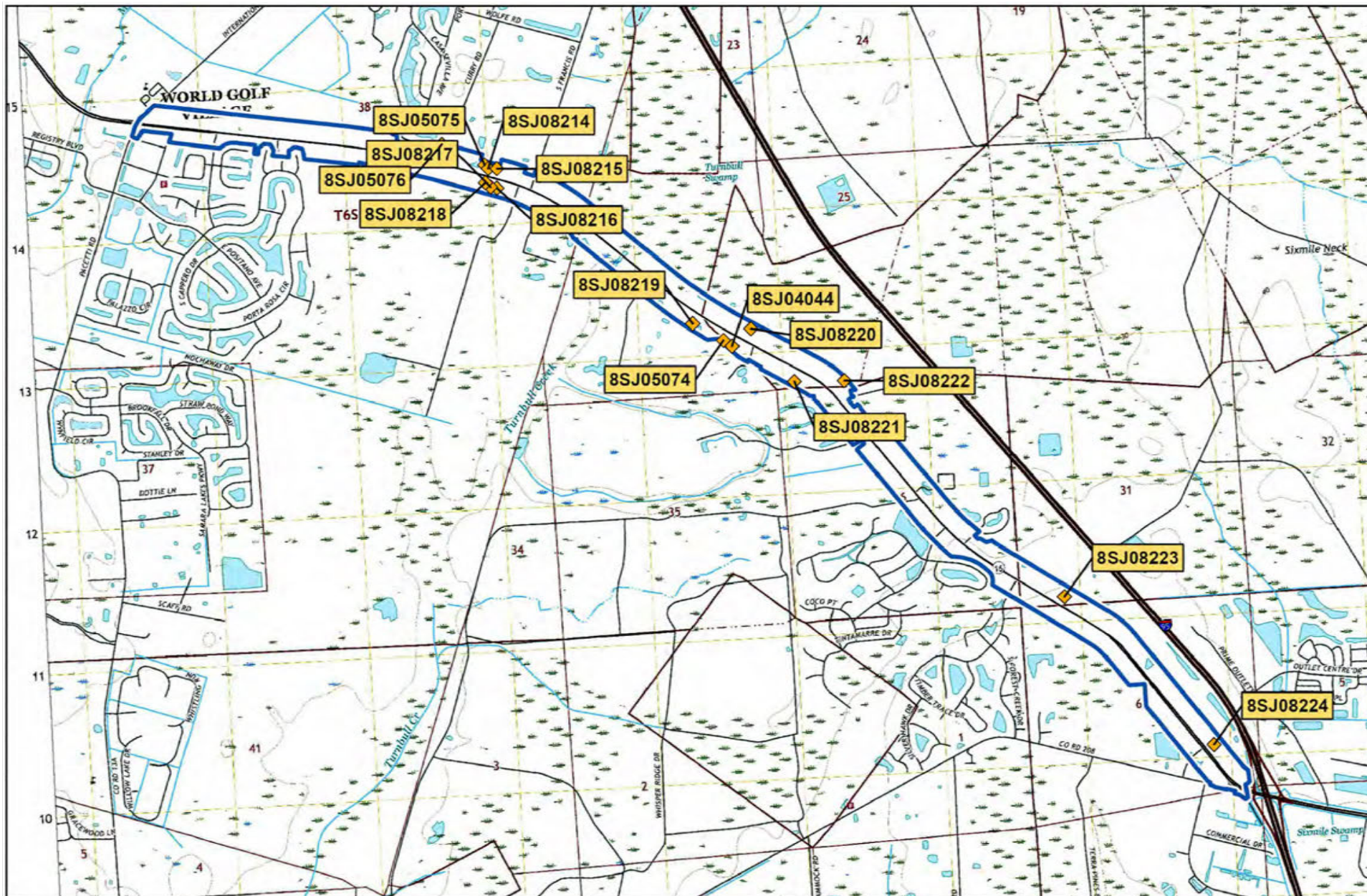
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08216**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4571 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4571** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd & 9 Mile Rd**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284700000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1970** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1970** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1970** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; updates**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; deck**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Michell Bertke**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Masonry Vernacular** Exterior Plan **L-shaped** Number of Stories **1**  
 Exterior Fabric(s) **1. Concrete** **2. Stucco** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable-intersecting** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:5V crimp** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_

Windows (types, materials, etc.)

**6/6 vinyl SHS**

Distinguishing Architectural Features (exterior or interior ornaments)

**gable vent S and W façade**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

**wooden pergola, metal privacy fence, raised wooden deck w wooden handrail, metal shed**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date \_\_\_\_\_ SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date \_\_\_\_\_ Init. \_\_\_\_\_  
 KEEPER - Determined eligible: ☐ yes ☐ no Date \_\_\_\_\_  
☐ Owner Objection NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**

panel 3/4 lite door w façade

**Porch Descriptions (types, locations, roof types, etc.)**

Wooden deck with wood railing located across the east facing façade, uncovered

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08216 is a 1-story, Masonry Vernacular home with an L-shaped plan set at grade on a concrete slab foundation. Metal 5v crimp covers the shallow-pitched gross-gabled roof, and stucco clads the walls. The front features a raised deck.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08216 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_
**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292

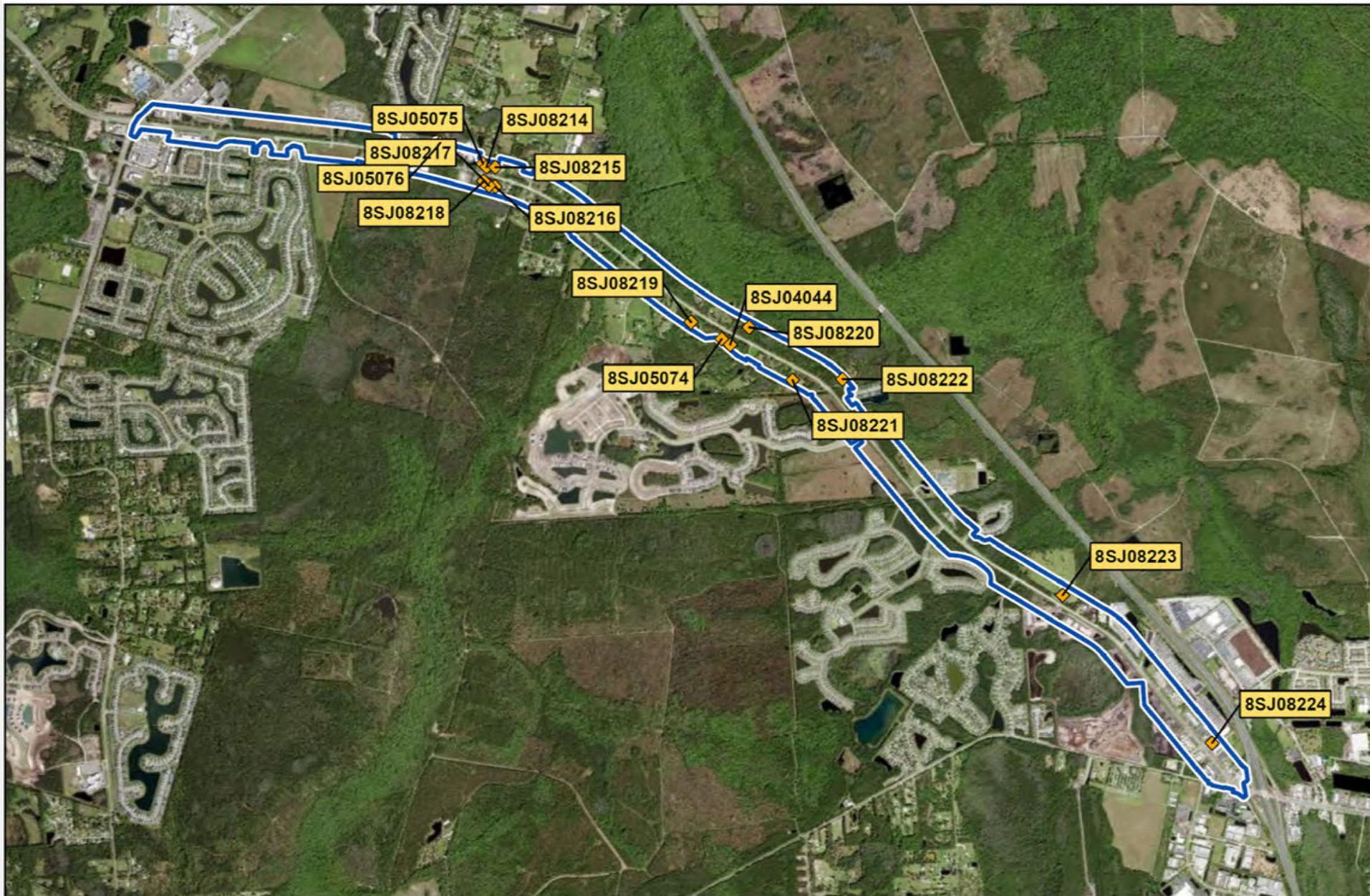
2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_
**RECORDER INFORMATION**Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).



Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



8SJ08216\_a Facing West





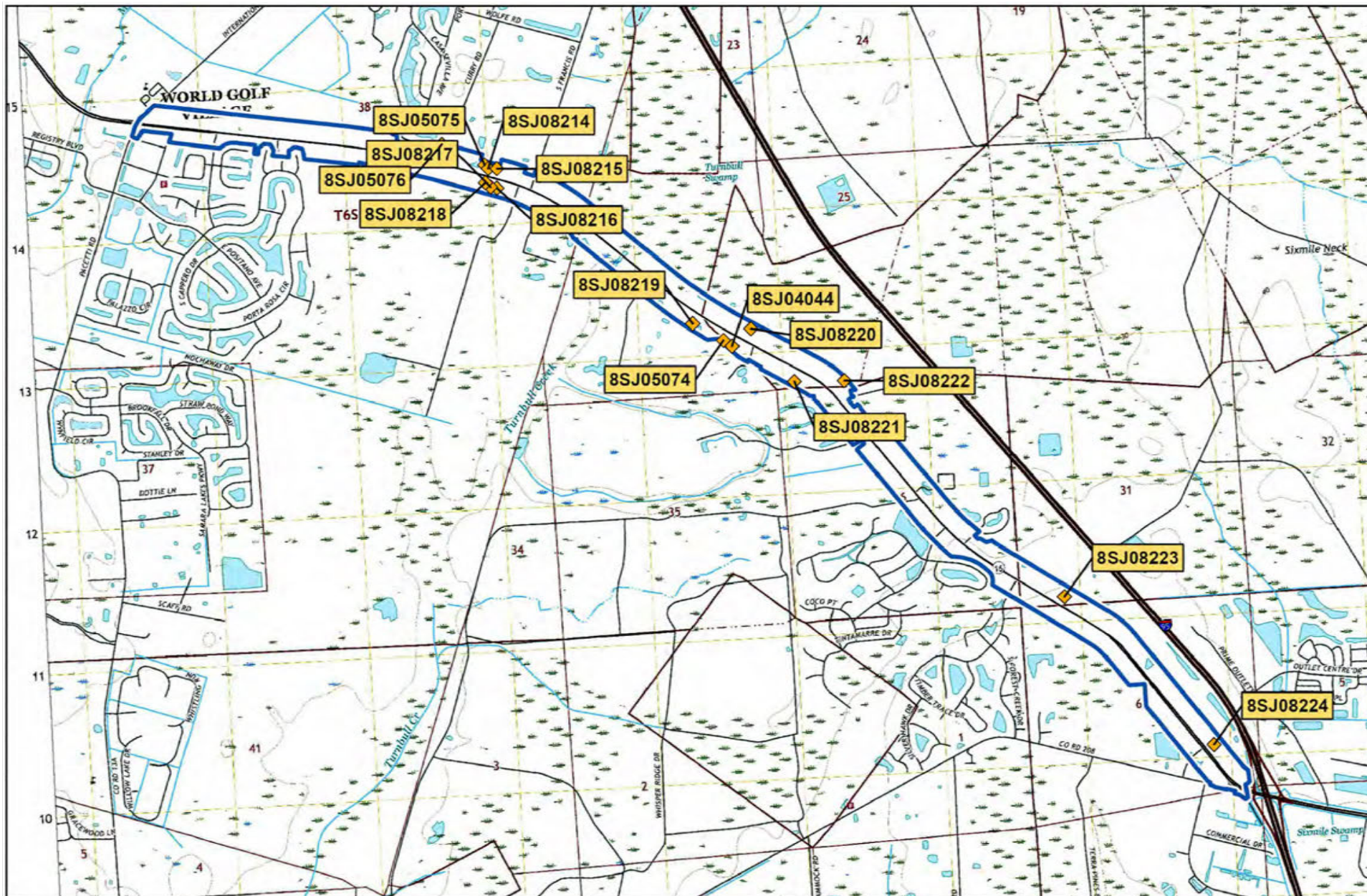
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08217**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4585 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4585** **SR 16** **SR 16** **SR 16** **SR 16**  
 Cross Streets (nearest / between) **S Francis Rd & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284700020** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1973** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Mobile Home/Trailer Home** From (year): **1973** To (year): **2023**  
 Current Use **Mobile Home/Trailer Home** From (year): **1973** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☐ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; porch**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Lorvena Bradley**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Other** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Metal** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) **1. Flat** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) **1. Composition roll** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_

Windows (types, materials, etc.)

**1/1 aluminum SHS, 6/6 aluminum SHS,**

Distinguishing Architectural Features (exterior or interior ornaments)

**Mobile Home with a bay window on the west elevation**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

**metal shed, metal ramp**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date \_\_\_\_\_ SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date \_\_\_\_\_ Init. \_\_\_\_\_  
 Keeper - Determined eligible: ☐ yes ☐ no Date \_\_\_\_\_  
 NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Metal skeleton 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Piers 2. \_\_\_\_\_Foundation Material(s): 1. Obscured 2. \_\_\_\_\_**Main Entrance (stylistic details)**

paneled 1 lite door S façade

**Porch Descriptions (types, locations, roof types, etc.)**

Covered entrance with metal ramp/stairs leading to it. Roof supported by braced wooden posts.

Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08217 is a 1-story, Mobile Home with a rectangular plan set on obscured piers. The flat roof is covered in composition roll, and the walls are clad in metal.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08217 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____	3. _____	5. _____
2. _____	4. _____	6. _____

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary BonatakisAffiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
 (address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

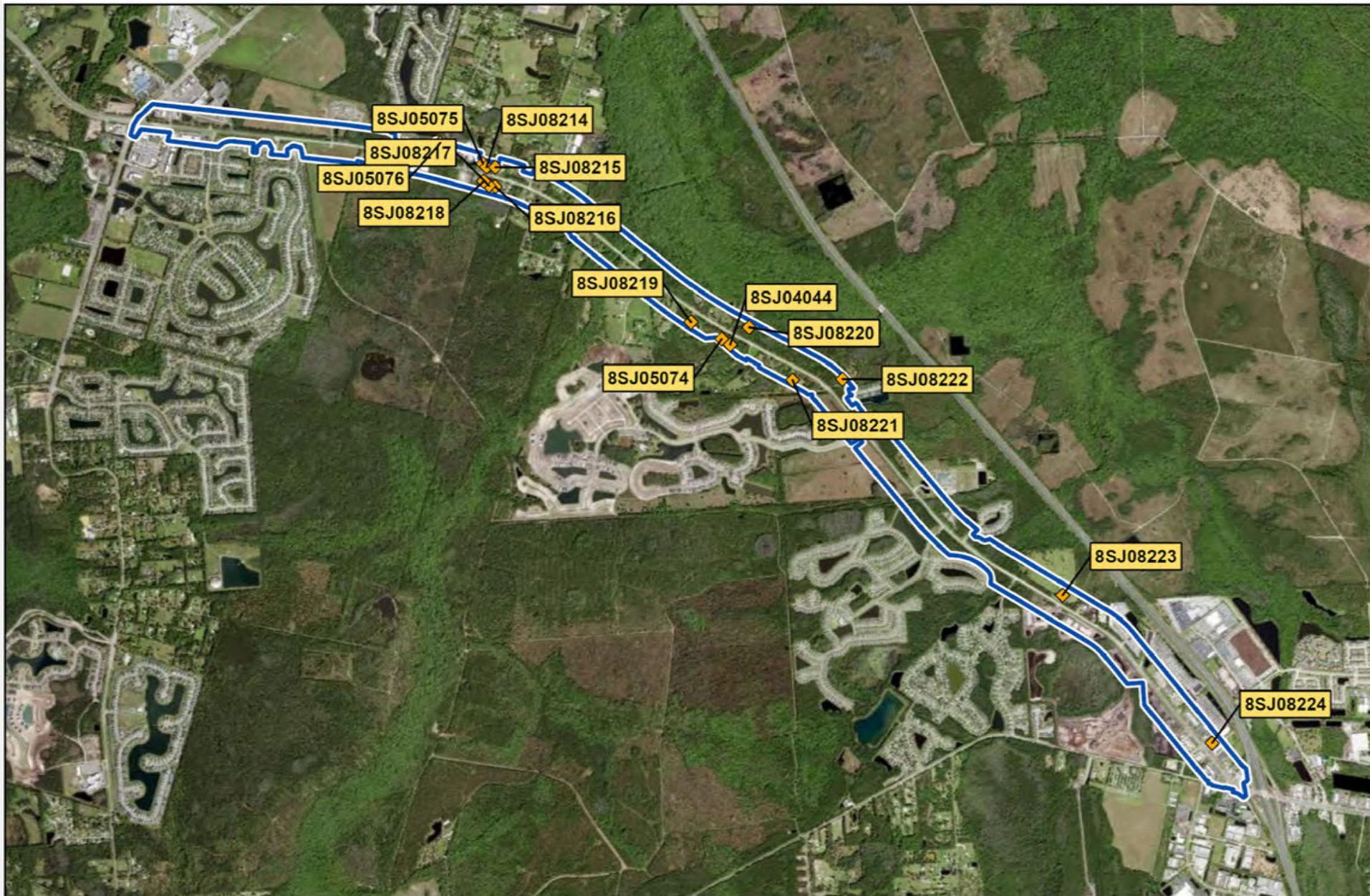


8SJ08217\_a Facing South



8SJ08217\_b Facing Southeast





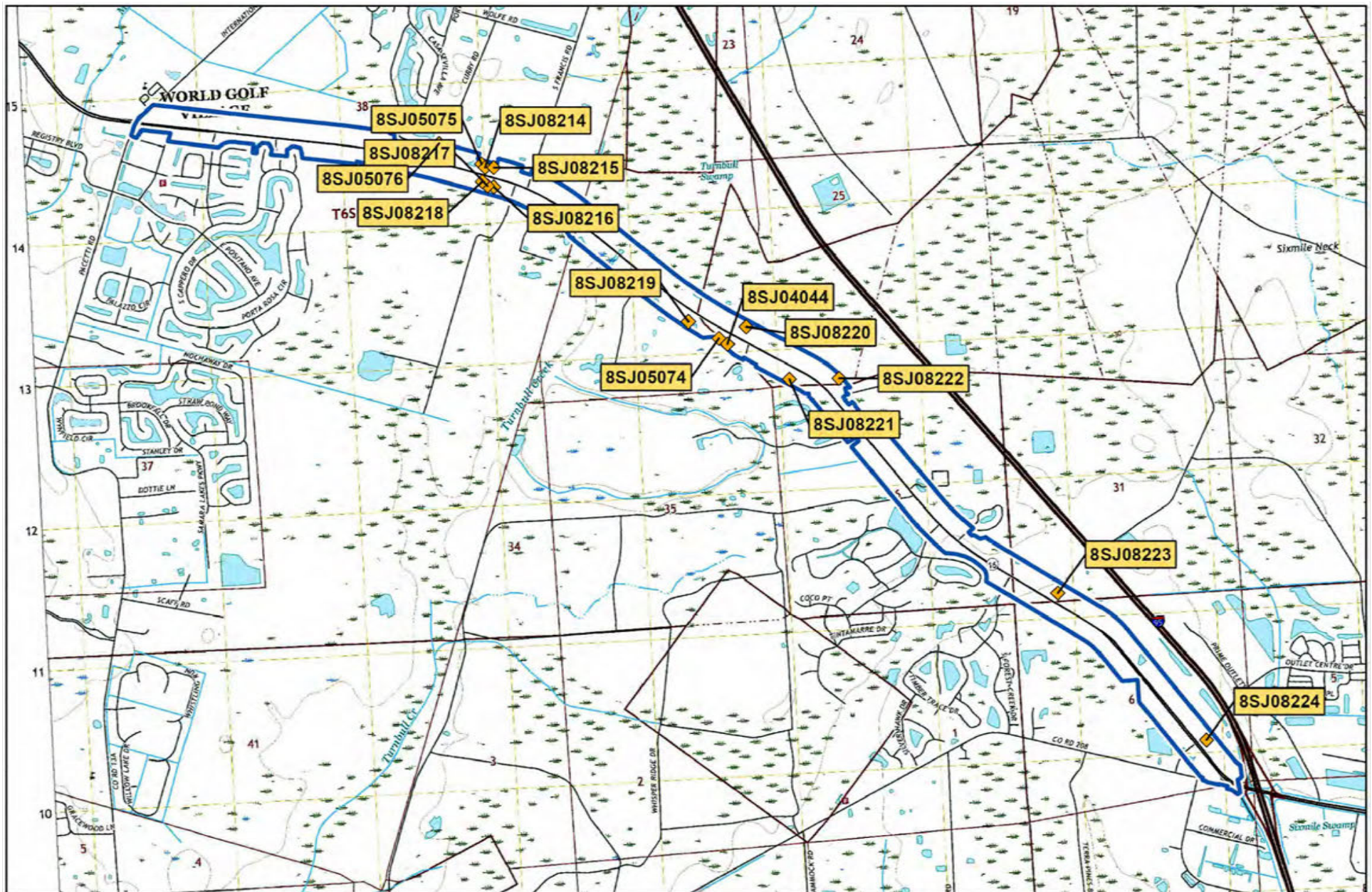
- SR 16 from IGP to I-95 APE
- Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08218**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4605 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4605** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **S Francis Rd & 9 Mile Rd**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0284700010** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1977** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1977** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1977** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new windows**  
 Additions: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Libby Register**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Masonry Vernacular** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Block-concrete** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) **1. Gable** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:5V crimp** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1. Flat extension** 2. \_\_\_\_\_

Windows (types, materials, etc.)  
**1/1 aluminum SHS, 2/2 aluminum SHS**

Distinguishing Architectural Features (exterior or interior ornaments)  
**lattice trim on porch SW façade, cinder block vents on foundation**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**window AC units, satellite dish**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Concrete block 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Continuous 2. \_\_\_\_\_Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_**Main Entrance (stylistic details)**1/4 lite vinyl door,**Porch Descriptions (types, locations, roof types, etc.)**slightly elevated supported by 3 wooden beams.Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**Resource 8SJ08218 is a 1-story, Masonry Vernacular house with a rectangular plan raised above grade on a concrete block foundation. Metal 5V crimp covers the steeply pitched gable roof, and the walls are concrete block.Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08218 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____	3. _____	5. _____
2. _____	4. _____	6. _____

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary BonatakisAffiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
 (address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

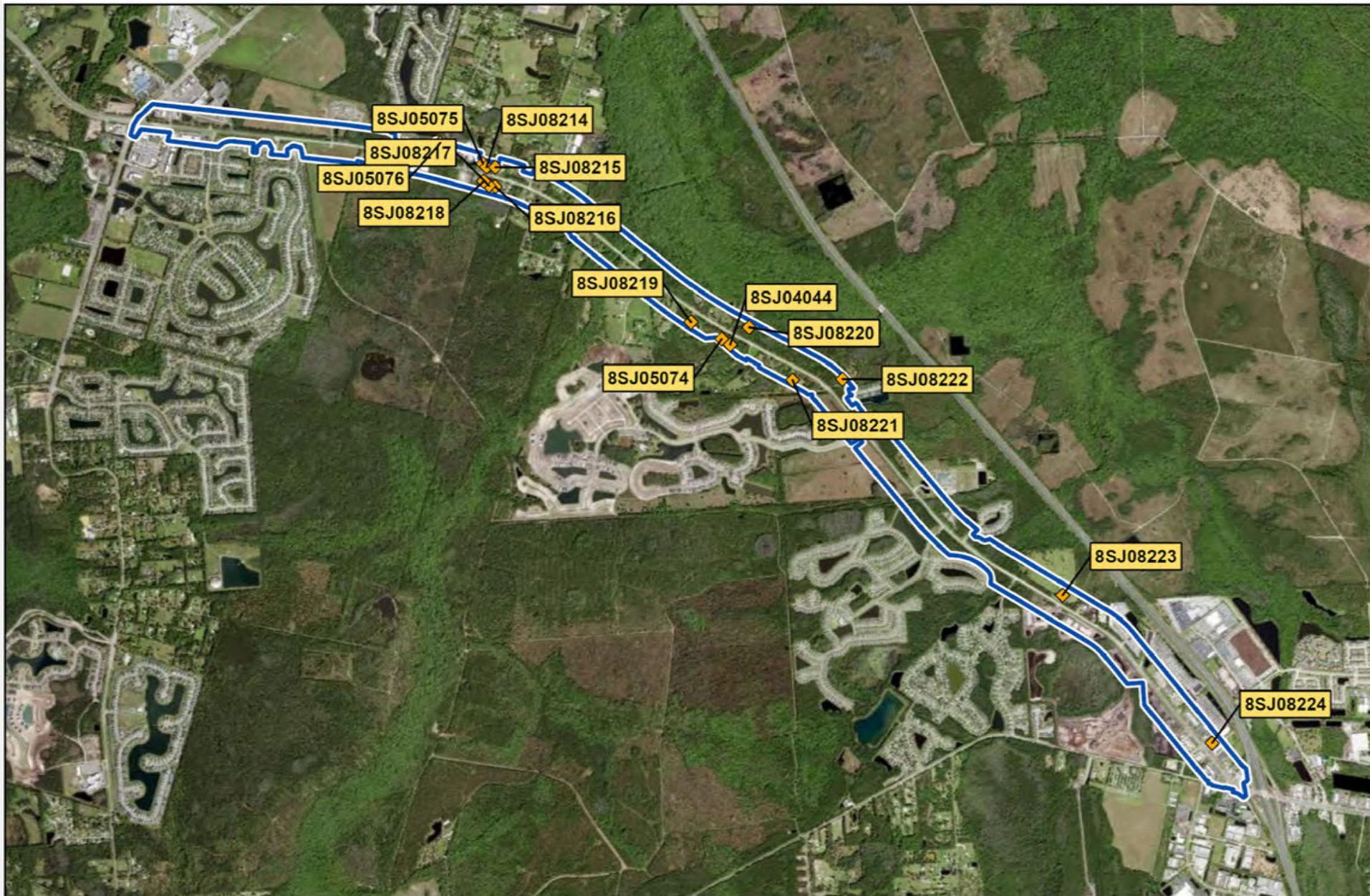




8SJ08218\_a Facing Southwest



8SJ08218\_b Facing South





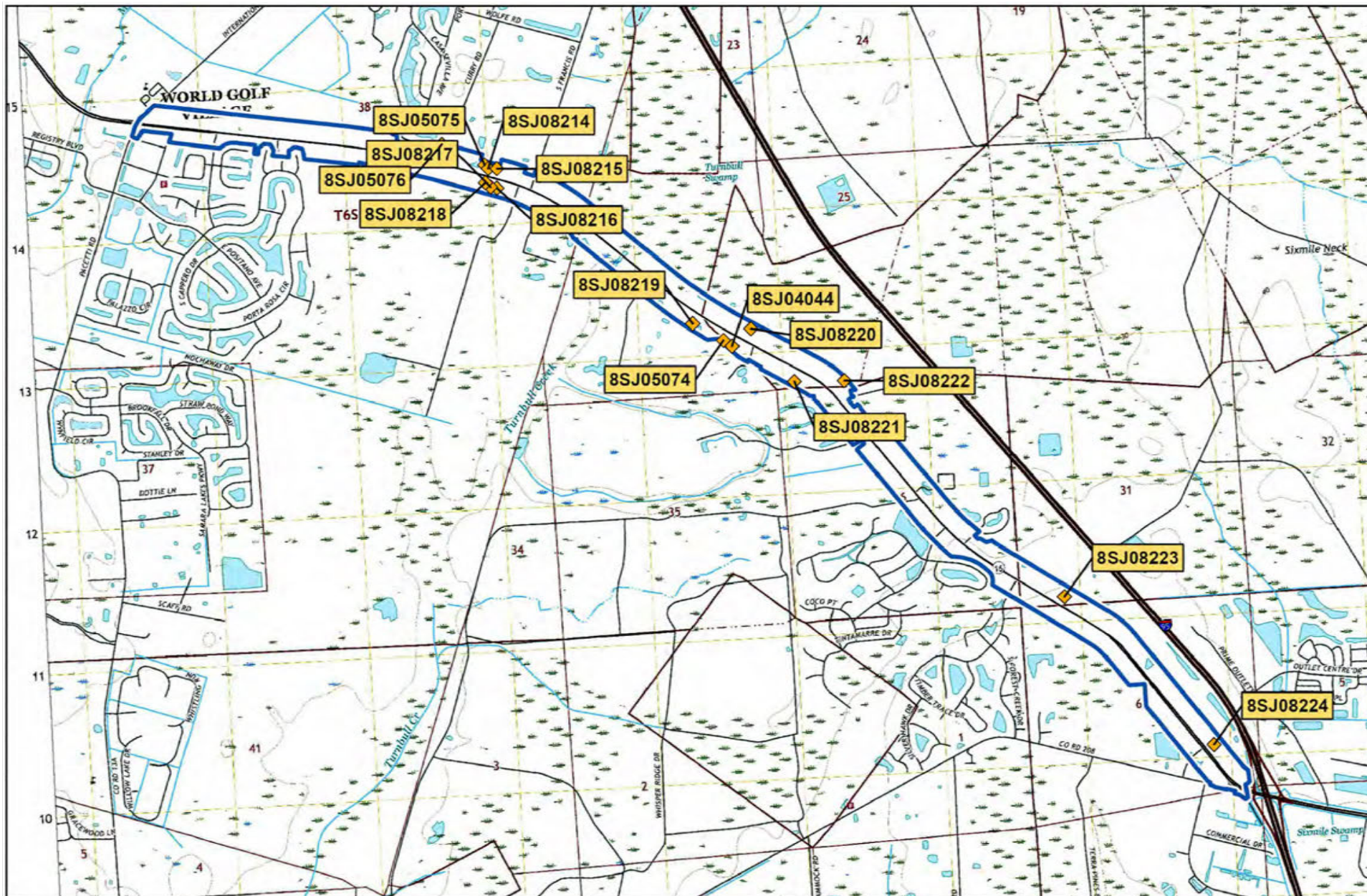
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08219**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **4065 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **4065** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **Kohler Rd & Turnbull Dr**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **26** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0273120000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1969** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1969** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1969** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new siding**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; garage addition**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Milton Griggs**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Irregular** Number of Stories **1**  
 Exterior Fabric(s) **1. Drop siding** **2. Vinyl** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable-intersecting** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:5V crimp** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_

Windows (types, materials, etc.)  
**paired 6/6 SHS aluminum, 1/1 SHS**

Distinguishing Architectural Features (exterior or interior ornaments)  
**faux shutters, double garage w/ paneled doors, vinly drop siding**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**RV**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**

Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_

**Main Entrance (stylistic details)**

paneled door in recessed entryway S façade

**Porch Descriptions (types, locations, roof types, etc.)**

Covered entry, no porch

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

**Narrative Description of Resource**

Resource 8SJ08219 is a 1-story, Ranch house with a rectangular plan set at grade on a concrete slab foundation. Metal 5V crimp covers the shallow-pitched cross-gabled roof, and vinyl drop siding clads the walls.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

**RESEARCH METHODS (select all that apply)**

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☐ Sanborn maps  
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps  
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)  
☒ cultural resource survey (CRAS) ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search  
☒ other methods (describe) Pedestrian/Windshield Survey

**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)****OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

Due to lack of sufficient historic significance and architectural distinction, 8SJ08219 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292  
 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological Research  
 Recorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
 (address / phone / fax / e-mail)

**Required Attachments**

① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

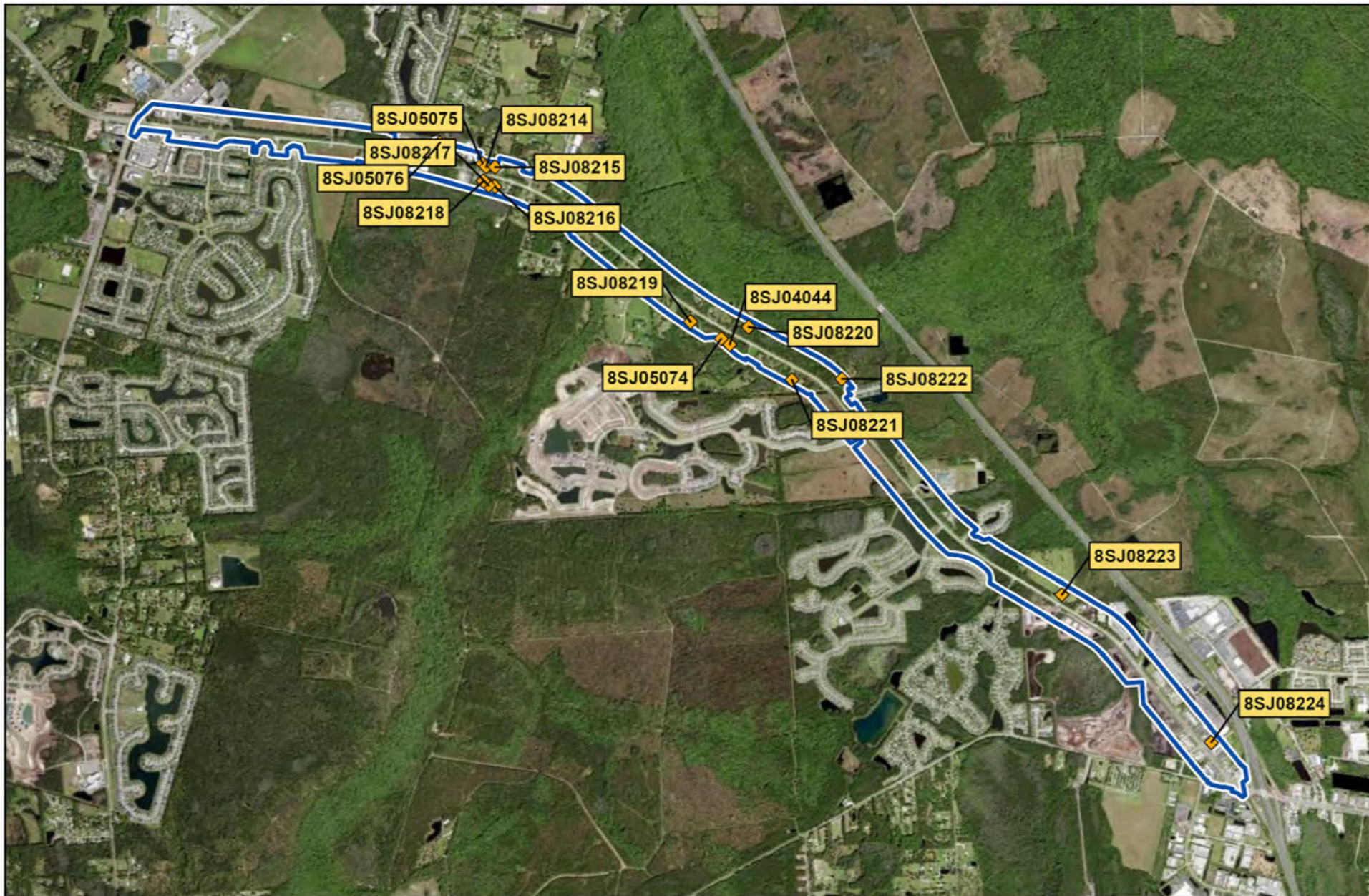
③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE



When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



8SJ08219\_b Facing West





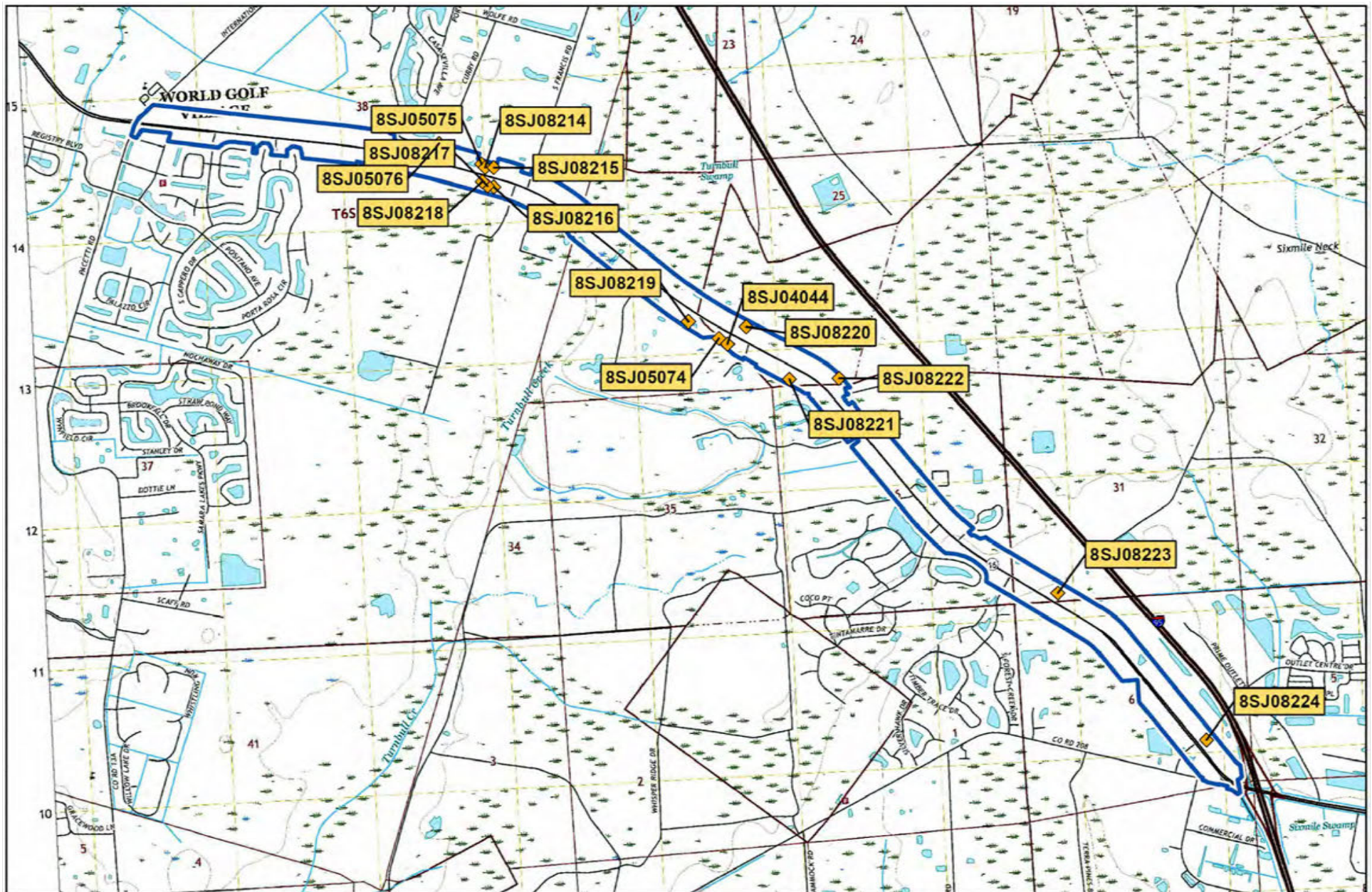
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08220**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3940 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3940** **SR 16**  
 Cross Streets (nearest / between) **Kohler Rd & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **41** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0290900010** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1973** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1973** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1973** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Additions: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Free Kids Academy LLC**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Frame Vernacular** Exterior Plan **Irregular** Number of Stories **1**  
 Exterior Fabric(s) **1. Unspecified** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) **1. Gable** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) **1. Sheet metal:standing seam** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Windows (types, materials, etc.)  
 Completely obscured from ROW  
 Distinguishing Architectural Features (exterior or interior ornaments)  
 Completely obscured from ROW  
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
 Completely obscured from ROW

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Unknown 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Unknown 2. \_\_\_\_\_Foundation Material(s): 1. Obscured 2. \_\_\_\_\_**Main Entrance (stylistic details)**

Completely obscured from ROW

**Porch Descriptions (types, locations, roof types, etc.)**

Completely obscured from ROW

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08220 is a one-story, Frame Vernacular house with an irregular plan. The building is heavily obscured from the ROW and known information comes from the county property appraiser.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☒ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Pedestrian/Windshield Survey

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes☐ no☒ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☐ no☒ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Resource 8SJ08220 is not visible from the right of way, therefore there is insufficient information to make an NRHP eligibility recommendation.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_

2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

Document type All materials at one location Maintaining organization Southeastern Archaeological Research1) Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292

2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_

Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



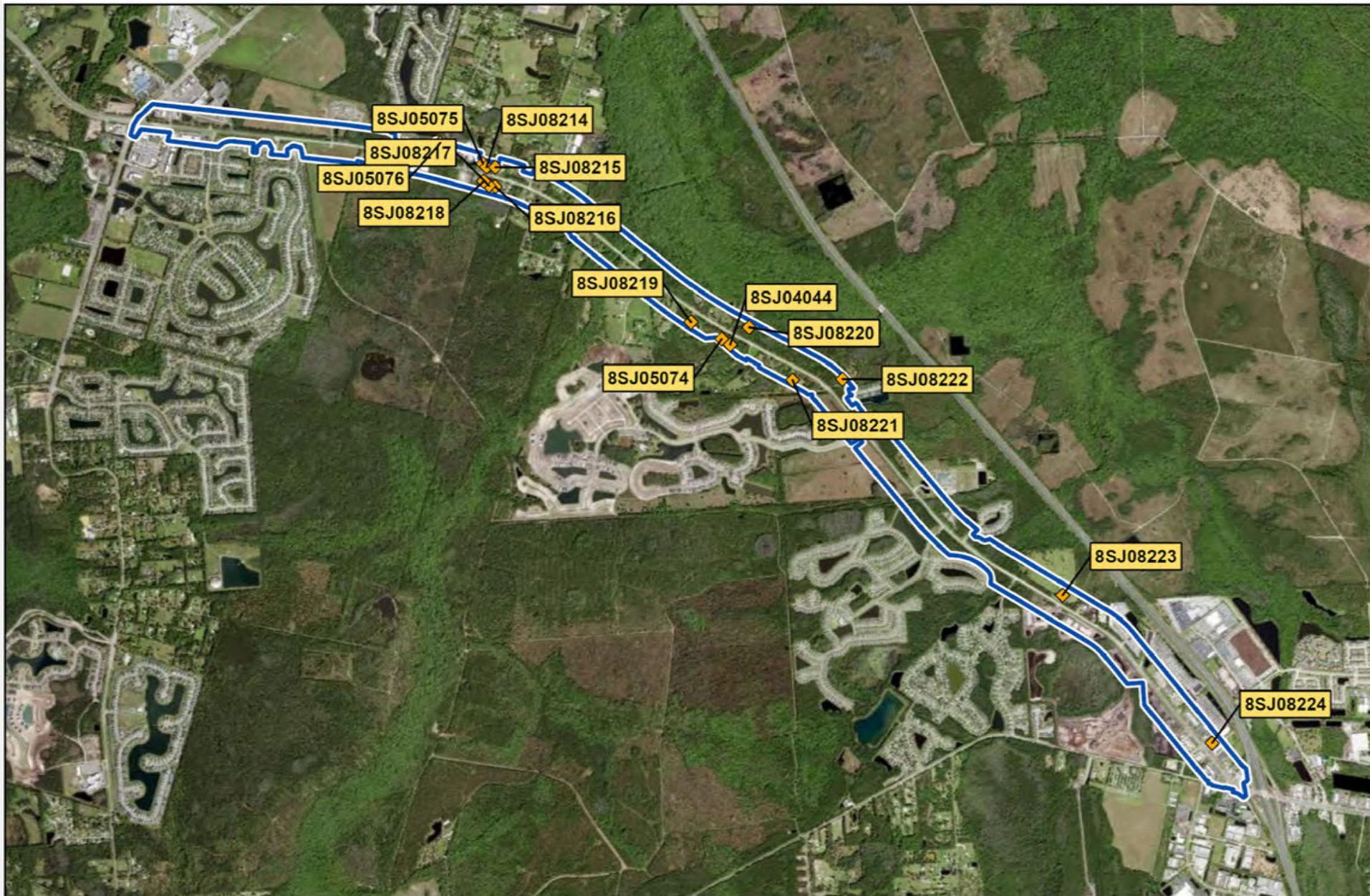




8SJ08220\_a Facing Northwest



8SJ08220\_b Facing Northwest





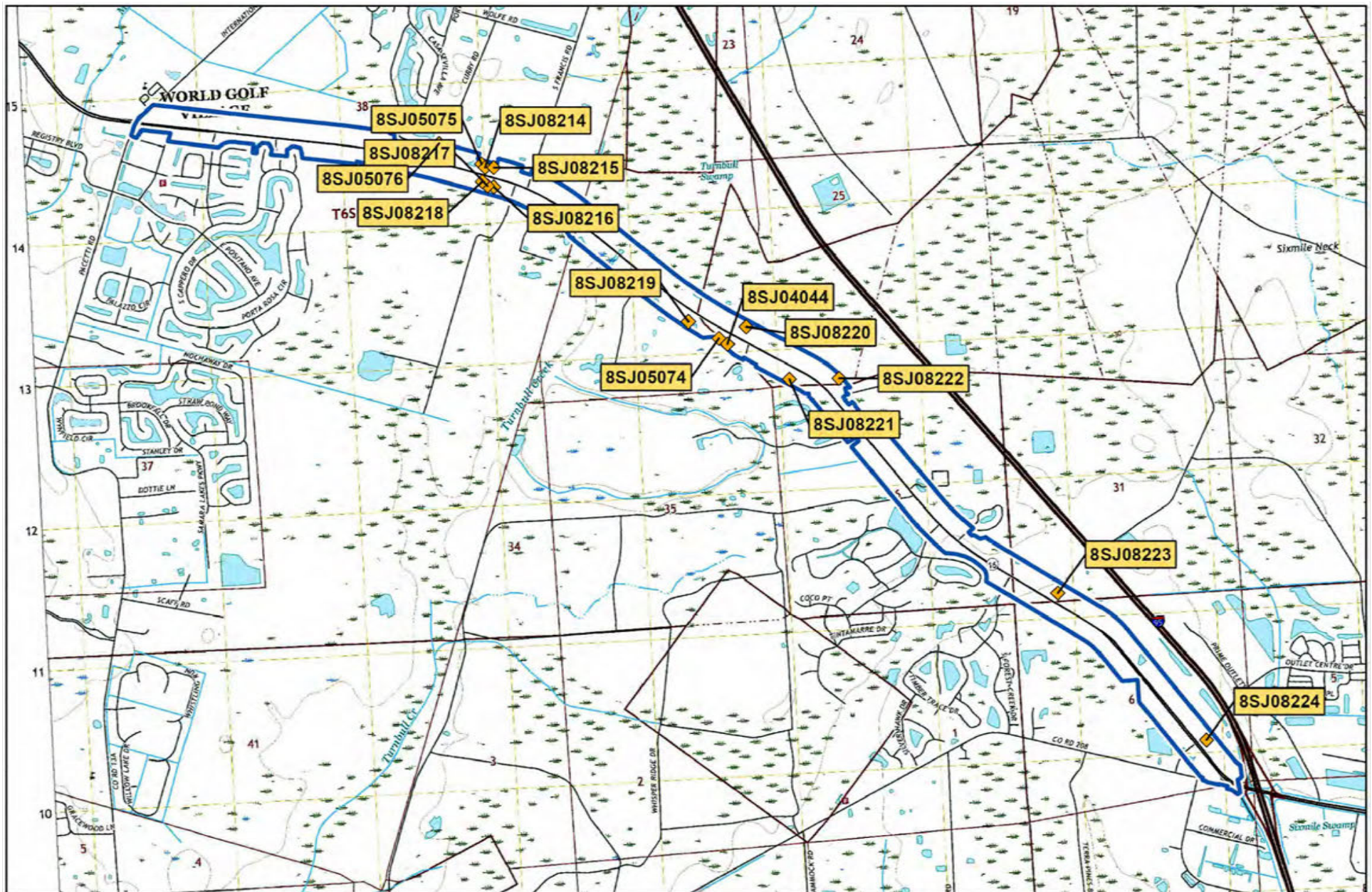
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- ▬ SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08221**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3795 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3795** **SR 16**  
 Cross Streets (nearest / between) **Kohler Rd & Turnbull Creek Rd**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0292000000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1975** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1975** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1975** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new windows**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; back porch**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Betty Severt**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **L-shaped** Number of Stories **1**  
 Exterior Fabric(s) **1. Block-concrete** **2. Brick** **3.**  
 Roof Type(s) **1. Gable** **2.** **3.**  
 Roof Material(s) **1. Asphalt shingles** **2.** **3.**  
 Roof secondary strucs. (dormers etc.) **1.** **2.**

Windows (types, materials, etc.)  
**1/1 vinyl SHS, 2/2 vinyl fixed picture window**

Distinguishing Architectural Features (exterior or interior ornaments)  
**brick façade SW, double front-facing hip, entry porch sheltering front door**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**metal carport attached to NE façade**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

**DESCRIPTION (continued)**

Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Structural System(s): 1. Concrete 2. Brick 3. \_\_\_\_\_  
 Foundation Type(s): 1. Slab 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_

**Main Entrance (stylistic details)**

Wood paneled door SW façade

**Porch Descriptions (types, locations, roof types, etc.)**

Roof overhang sheltering front entryway supported by 2 cylindrical beams

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

**Narrative Description of Resource**

Resource 8SJ08221 is a 1-story, Ranch house with an L-shaped plan set at grade on a concrete slab foundation. Asphalt shingles covers the shallow-pitched hip roof, and the walls are concrete block with a brick façade on the SW.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed

**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)****OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

Due to lack of sufficient historic significance and architectural distinction, 8SJ08221 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological Research  
 Recorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search  
 (address / phone / fax / e-mail)

**Required Attachments**

① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

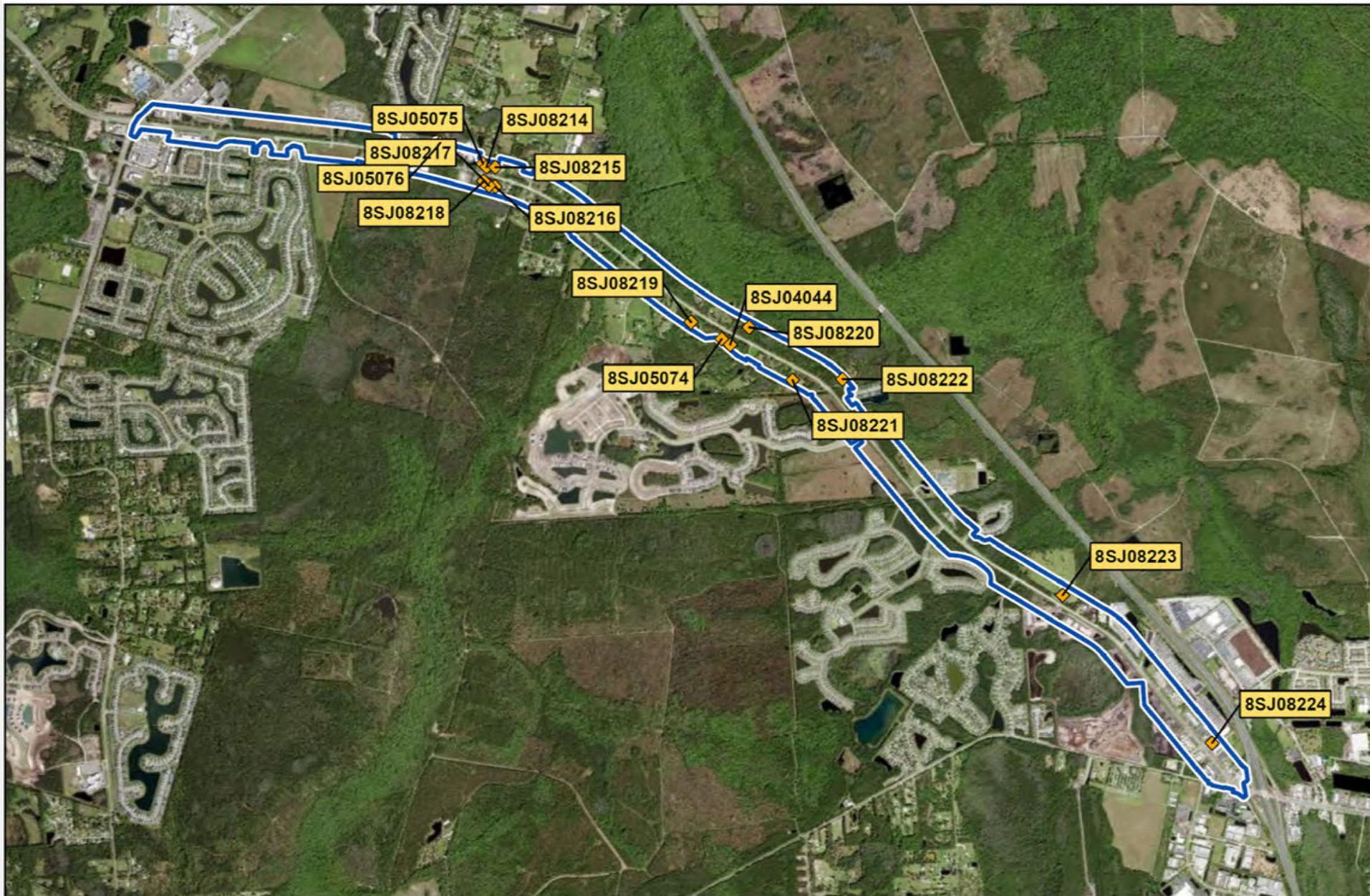




8SJ08221\_a Facing Southwest



8SJ08221\_b Facing West





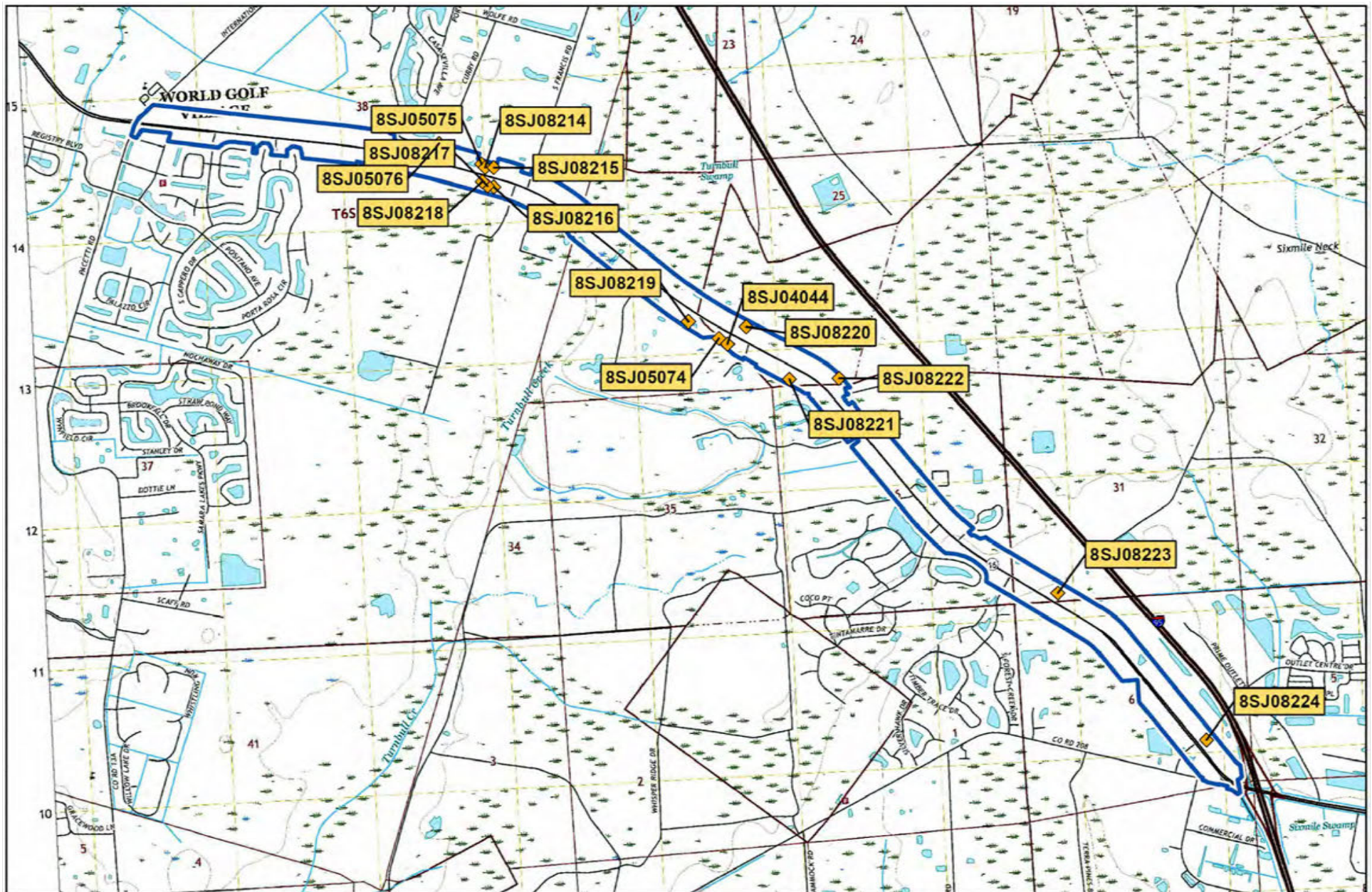
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures


0 500 0 2,000  
Meters Feet


Esri World Imagery (2023)







 SR 16 from IGP to I-95 APE

 Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08222**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3726 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3726** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest/between) **Kohler Rd & turnbull Creek Rd**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **28E** Section **38** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0290800000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1960** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1960** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1960** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new windows**  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; garage addition**  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Maria Marques**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Irregular** Number of Stories **1**  
 Exterior Fabric(s) **1. Brick** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) **1. Gable-intersecting** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) **1. Asphalt shingles** 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_

Windows (types, materials, etc.)  
**1/1 SHS, 6/6 aluminum SHS, 6/6 bay window**

Distinguishing Architectural Features (exterior or interior ornaments)  
**metal panel garage door, raised attached front porch w. hip extension,**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**brick driveway, swimming pool and outbuilding visible in aerial**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 1 Chimney Material(s): 1. Brick 2. \_\_\_\_\_Structural System(s): 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_**Main Entrance (stylistic details)**

appears to be 1 lite wood paneled door, obstructed from view

**Porch Descriptions (types, locations, roof types, etc.)**

full-height entry porch supported by two brick columns, attached to exterior of NE façade w/ wood plank flooring and ceiling

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08222 is a 1-story, Ranch house with an irregular plan set at grade on a concrete slab foundation. Asphalt shingles covers the shallow-pitched cross-gabled roof, and the walls are made of brick.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☒ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Pedestrian/Windshield Survey

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08222 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_

2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Southeastern Archaeological ResearchDocument description Photos, Maps, Field Notes, Aerials File or accession #'s 230292

2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_

Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

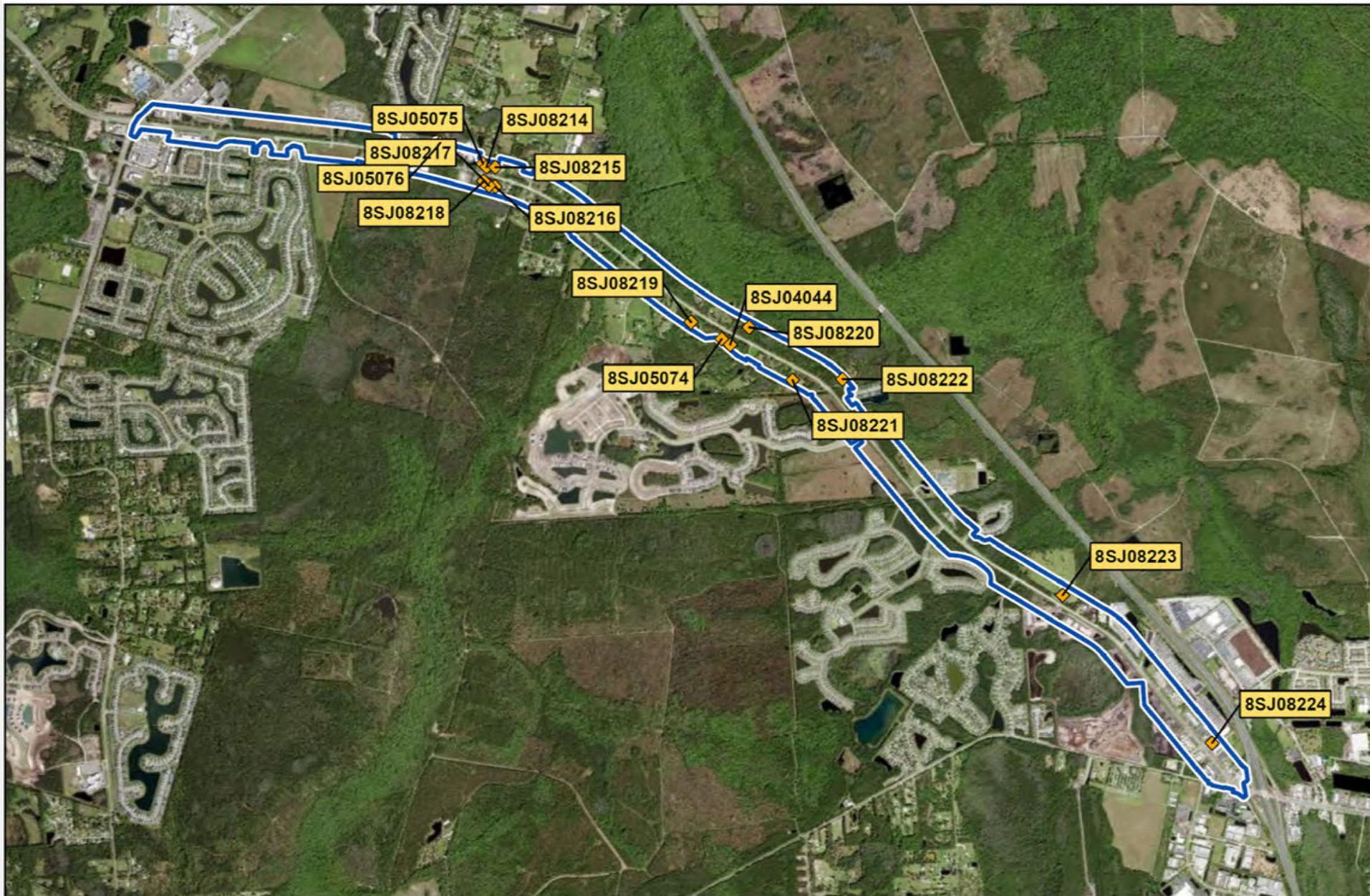
**RECORDER INFORMATION**Recorder Name Mary Bonatakis Affiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).



Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



8SJ08222\_a Facing East





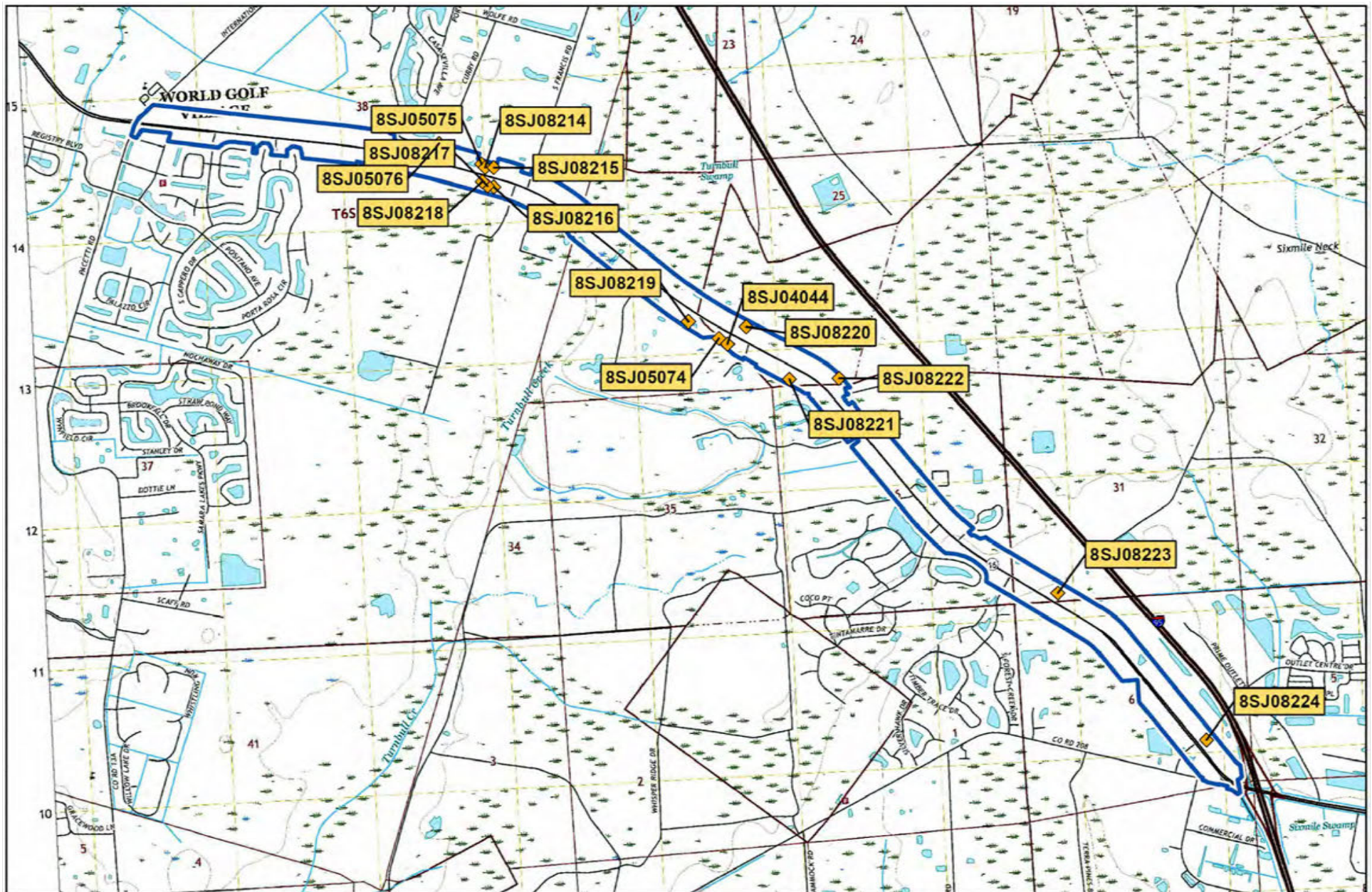
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- ▬ SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08223**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **3050 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **3050** **SR 16** **SR 16** **SR 16** **SR 16**  
 Cross Streets (nearest / between) **Whisper Ridge Dr & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☐ yes ☒ no ☐ unknown County **St. Johns**  
 Township **6S** Range **29E** Section **31** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0729300000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1973** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Private Residence (House/Cottage/Ca** From (year): **1973** To (year): **2023**  
 Current Use **Private Residence (House/Cottage/Ca** From (year): **1973** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; new windows**  
 Additions: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Henry Whetstone Sr**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Ranch** Exterior Plan **Rectangular** Number of Stories **1**  
 Exterior Fabric(s) **1. Brick** **2. Block-concrete** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Gable-intersecting** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof Material(s) **1. Asphalt shingles** **2.** \_\_\_\_\_ **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_

Windows (types, materials, etc.)  
**SHS vinyl framed 1/1; aluminum framed awning windows**

Distinguishing Architectural Features (exterior or interior ornaments)  
**Garage appears to be original instead of a modified carport**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
**Paved driveway, wooden fence across the front of the property**

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Masonry - General 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**

Located on the west façade, obscured by the partially screened porch

**Porch Descriptions (types, locations, roof types, etc.)**

Gable protrusion in middle of west facing elevation creates a covered porch at the entry. Supported by wooden posts and partially screened.

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08223 is a one-story Ranch house with a rectangular plan on a poured concrete slab foundation. The cross-gable roof is covered in asphalt shingles, and the exterior is clad in brick and concrete block.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08223 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____	3. _____	5. _____
2. _____	4. _____	6. _____

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
 Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary BonatakisAffiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
 (address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

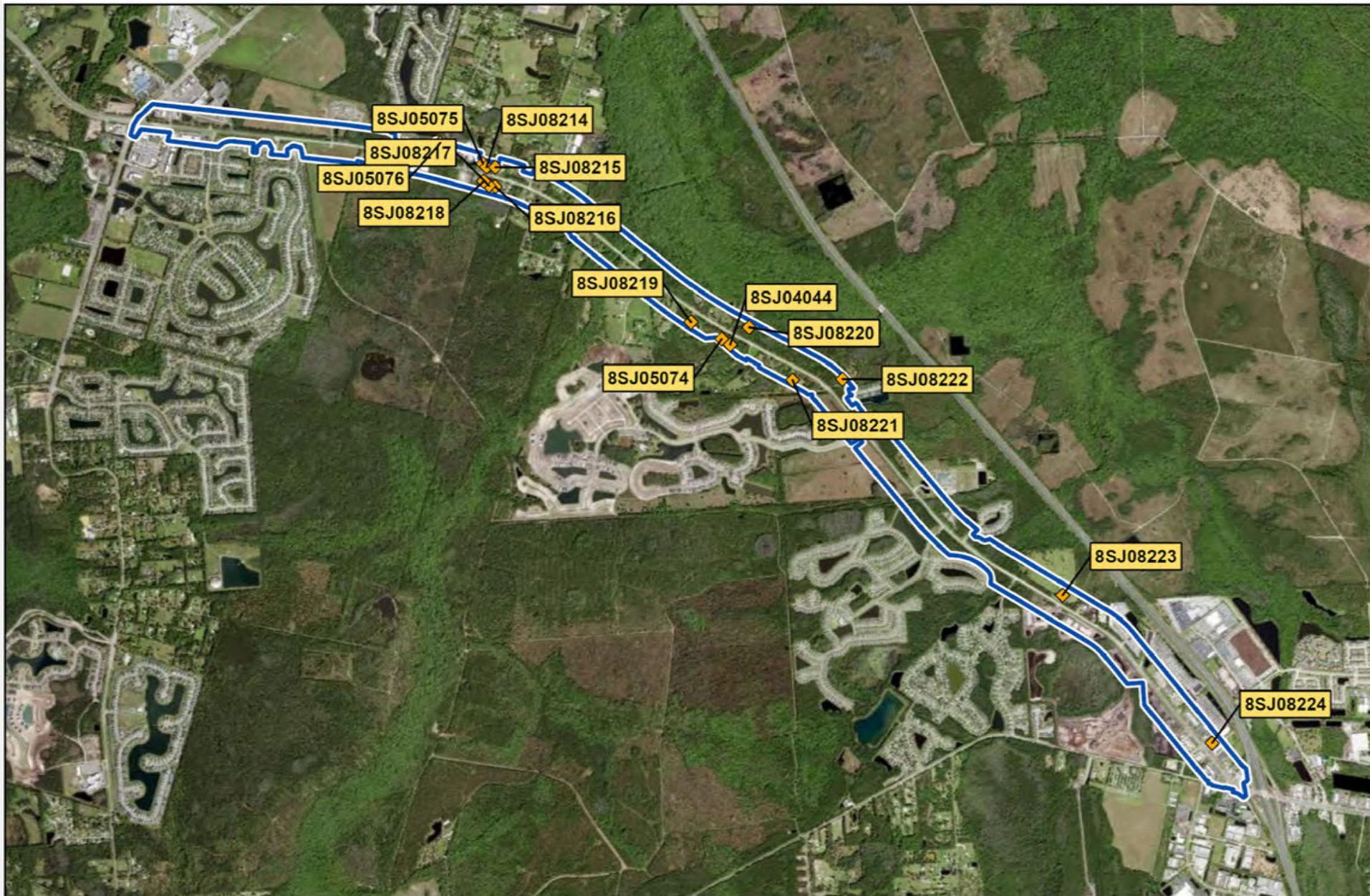




8SJ08223\_a Facing North



8SJ08223\_b Facing East





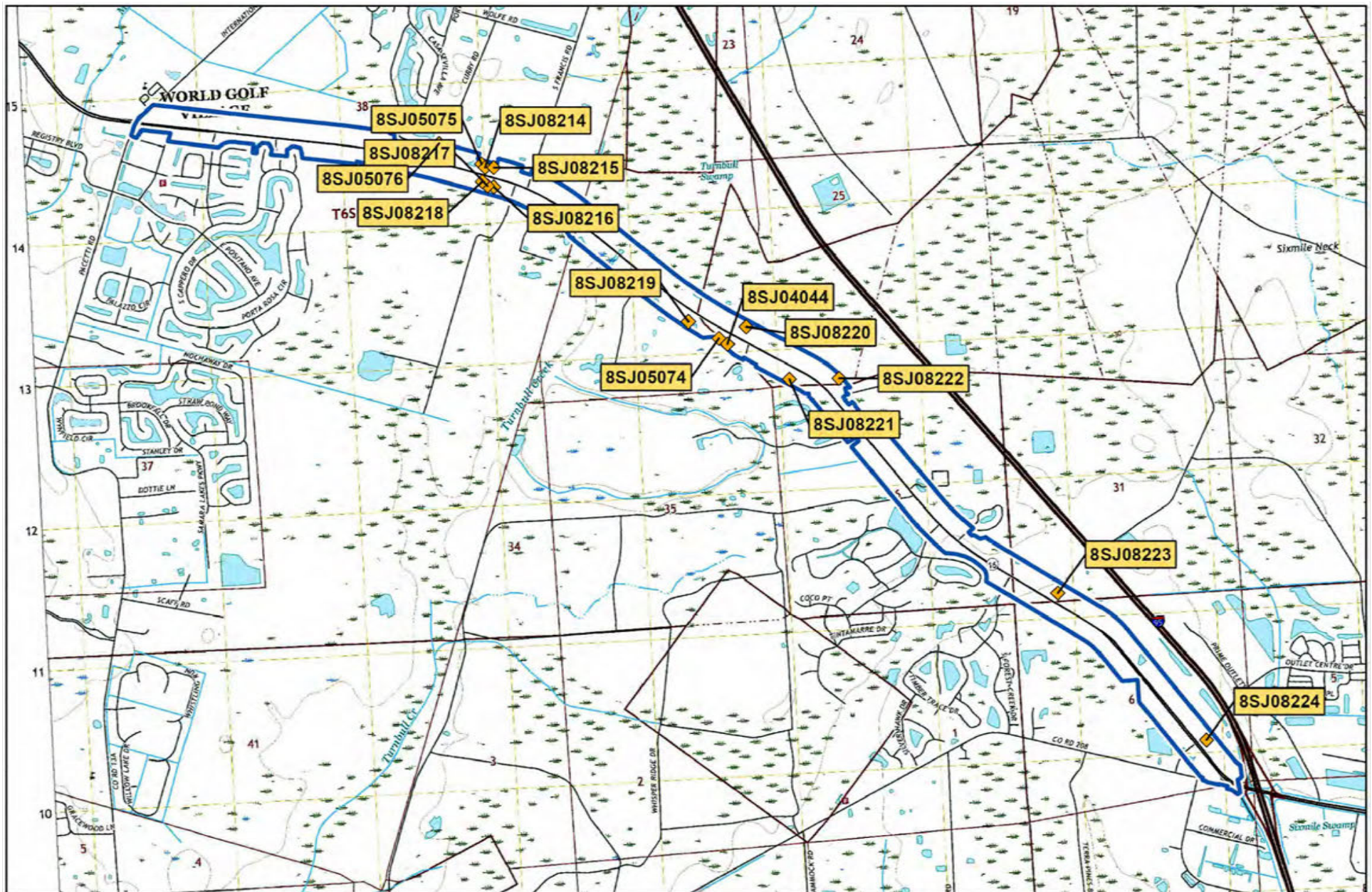
-  SR 16 from IGP to I-95 APE
-  Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







- ▬ SR 16 from IGP to I-95 APE
- ◆ Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)







☒ Original  
☐ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **SJ08224**  
 Field Date **11-22-2023**  
 Form Date **12-6-2023**  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) **2580 SR 16** Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name **SR 16 from IGP to I-95 Ad# 24222** Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: **2580** **SR 16**  
 Street Number Direction Street Name Street Type Suffix Direction  
 Cross Streets (nearest / between) **Toms Rd & SR 16**  
 USGS 7.5 Map Name **BAKERSVILLE** USGS Date **2021** Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) **SAINT AUGUSTINE** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**  
 Township **7S** Range **29E** Section **06** ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # **0873850000** Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐  
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: **1975** ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use **Hotel** From (year): **1975** To (year): **2023**  
 Current Use **Hotel** From (year): **1975** To (year): **2023**  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☒ no ☐ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature **Date UNKN; some windows replaced**  
 Additions: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Nature \_\_\_\_\_  
 Architect (last name first): **UNKN** Builder (last name first): **UNKN**  
 Ownership History (especially original owner, dates, profession, etc.)  
 Current: **Jai Jalaram Enterprise Inc**

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe **NA**

### DESCRIPTION

Style **Masonry Vernacular** Exterior Plan **Rectangular** Number of Stories **2**  
 Exterior Fabric(s) **1. Block-concrete** **2. Stucco** **3.** \_\_\_\_\_  
 Roof Type(s) **1. Flat** **2. Mansard** **3.** \_\_\_\_\_  
 Roof Material(s) **1. Built-up** **2. Sheet metal: 5V crimp** **3.** \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) **1.** \_\_\_\_\_ **2.** \_\_\_\_\_

Windows (types, materials, etc.)

**Fixed plate glass commercial picture windows, Aluminum framed awning windows**

Distinguishing Architectural Features (exterior or interior ornaments)

**Two-story rectangular block of rooms with exterior entrances, two staircases lead to second floor**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

**Paved parking area, trash cans, security lights**

### DHR USE ONLY

### OFFICIAL EVALUATION

### DHR USE ONLY

NR List Date \_\_\_\_\_ SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date \_\_\_\_\_ Init. \_\_\_\_\_  
 KEEPER - Determined eligible: ☐ yes ☐ no Date \_\_\_\_\_  
 NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Masonry - General 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Slab 2. \_\_\_\_\_Foundation Material(s): 1. Concrete, Generic 2. \_\_\_\_\_**Main Entrance (stylistic details)**

Each room has a metal door with no lights for access. Office entrance is located on southwest façade, commercial door

**Porch Descriptions (types, locations, roof types, etc.)**

A second floor balcony extends the length of the building on the east and west elevations, creating sheltered entrance for first floor rooms

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Resource 8SJ08224 is a two-story Masonry Vernacular hotel with a rectangular plan on a poured concrete slab foundation. The mansard roof is covered in sheet metal, and the flat roof is built up. The exterior walls are clad in concrete block and stucco.

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys)                           | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection                                      | <input type="checkbox"/> city directory              | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input checked="" type="checkbox"/> property appraiser / tax records                             | <input type="checkbox"/> newspaper files             | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS)                              | <input type="checkbox"/> historic photos             | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input checked="" type="checkbox"/> other methods (describe) <u>Pedestrian/Windshield Survey</u> |  |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Due to lack of sufficient historic significance and architectural distinction, 8SJ08224 is ineligible for listing in the NRHP, either individually or as a contributing resource within a potential or existing historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Southeastern Archaeological Research  
Document description Photos, Maps, Field Notes, Aerials File or accession #'s 230292
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Mary BonatakisAffiliation Southeastern Archaeological ResearchRecorder Contact Information 3117 Edgewater Dr., Orlando, FL 32804; (407) 415-4907; mary.bonatakis@search.  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





8SJ08224\_a Facing Northeast



8SJ08224\_b Facing North



8SJ08224\_c Facing Northeast



8SJ08224\_d Facing Northwest



8SJ08224\_e Facing West



8SJ08224\_f Facing Southeast



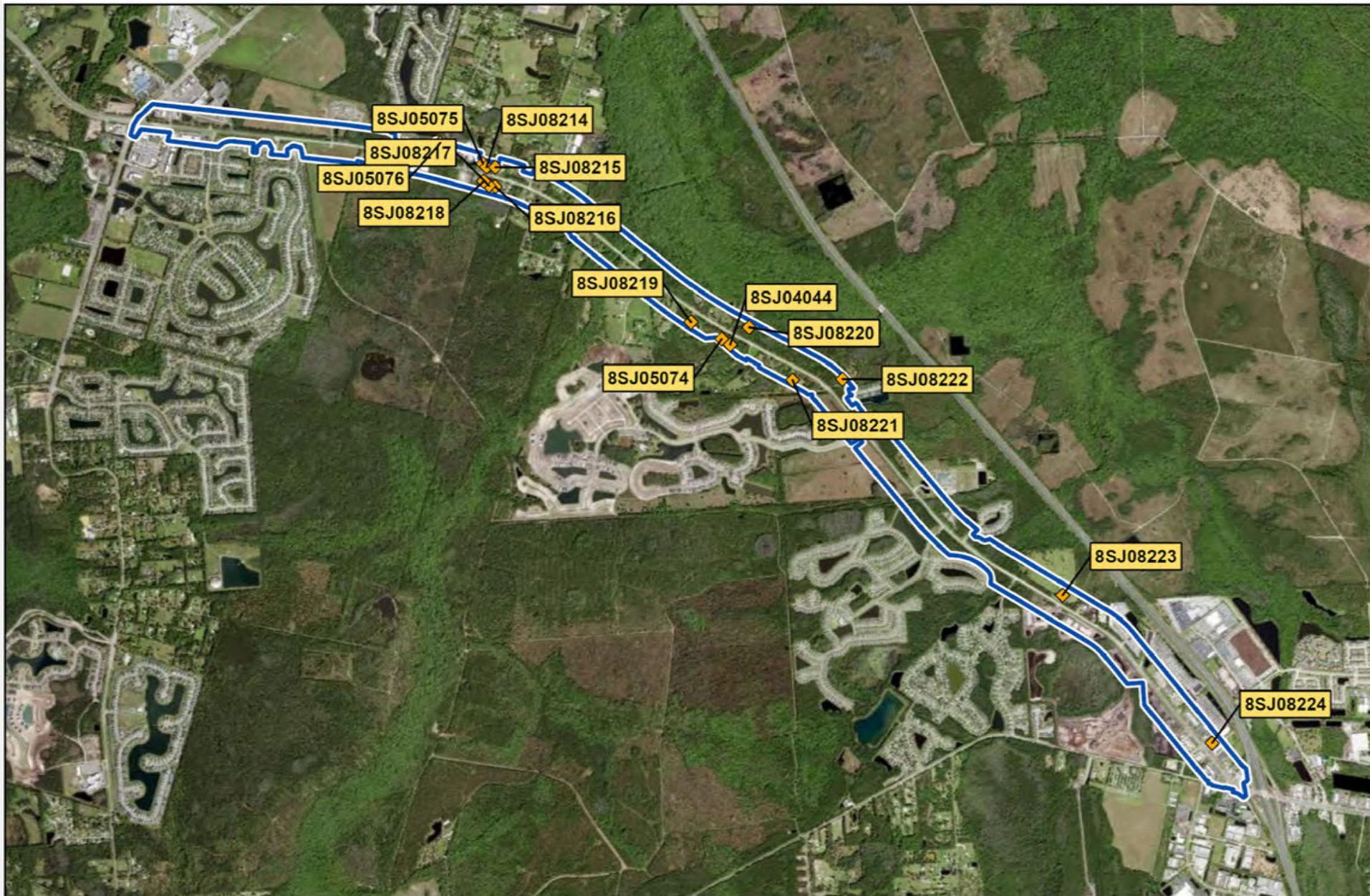


8SJ08224\_g Facing Southeast



8SJ08224\_h Facing Southwest





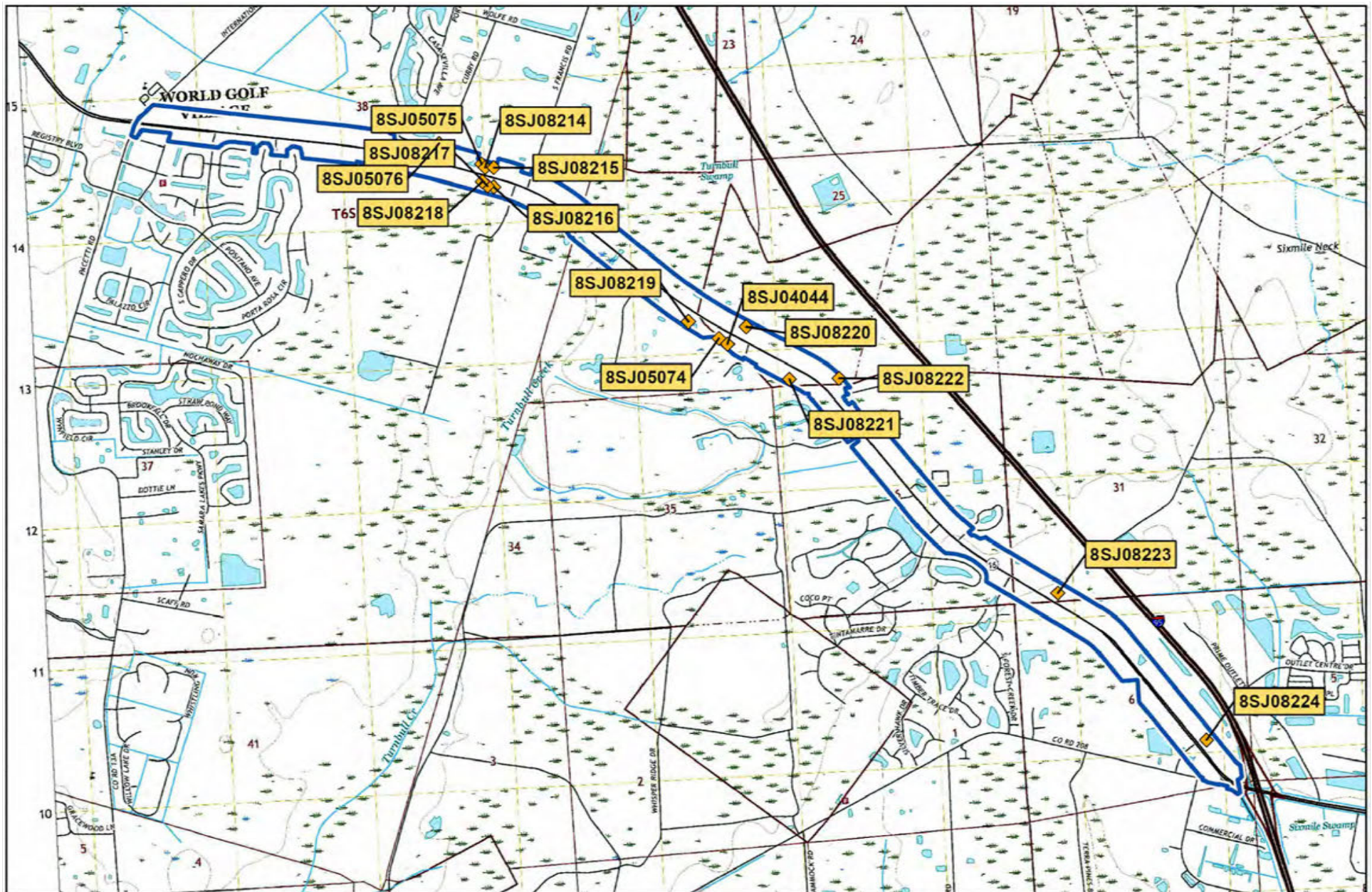
- SR 16 from IGP to I-95 APE
- Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

Esri World Imagery (2023)







SR 16 from IGP to I-95 APE

Newly Recorded Historical Structures

0 500 0 2,000  
Meters Feet

USGS 1:24,000 Topographic Map  
Bakersville, FL (2021)





**APPENDIX B.**

**SURVEY LOG SHEET**



Ent D (FMSF only) \_\_\_\_\_



# Survey Log Sheet

Florida Master Site File  
Version 5.0 3/19

Survey # (FMSF only) \_\_\_\_\_

Consult *Guide to the Survey Log Sheet* for detailed instructions.

## Manuscript Information

### Survey Project (name and project phase)

CRAS of SR 16 from IGP to I-95, St. Johns County, Florida (FM# 210447-5-32-01)

### Report Title (exactly as on title page)

CULTURAL RESOURCE ASSESSMENT SURVEY OF SR 16 FROM INTERNATIONAL GOLF PARKWAY TO I-95, ST. JOHNS COUNTY, FLORIDA

### Report Authors (as on title page)

1. Matthew Mele

3. Jessica Fish

2. Alyssa Costas

4. Kate Willis

Publication Year 2023Number of Pages in Report (do not include site forms) 95

### Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)

On file at SEARCH, Newberry. SEARCH Project no. 230292, FDOT FM# 210447-5-32-01

### Supervisors of Fieldwork (even if same as author) Names

Matthew Mele and Kate Willis

### Affiliation of Fieldworkers: Organization

Southeastern Archaeological Research

City Jacksonville

### Key Words/Phrases (Don't use county name, or common words like *archaeology*, *structure*, *survey*, *architecture*, etc.)

1. SR 163. I-95

5. \_\_\_\_\_

7. \_\_\_\_\_

2. IGP4. Piccolata

6. \_\_\_\_\_

8. \_\_\_\_\_

### Survey Sponsors (corporation, government unit, organization, or person funding fieldwork)

Name \_\_\_\_\_

Organization Florida Dept of Transportation - District 2Address/Phone/E-mail Lake City, FLRecorder of Log Sheet Matthew MeleDate Log Sheet Completed 12-8-2023

Is this survey or project a continuation of a previous project?

☒ No☐ Yes:

Previous survey #s (FMSF only) \_\_\_\_\_

## Project Area Mapping

### Counties (select every county in which field survey was done; attach additional sheet if necessary)

1. St. Johns

3. \_\_\_\_\_

5. \_\_\_\_\_

2. \_\_\_\_\_

4. \_\_\_\_\_

6. \_\_\_\_\_

### USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name BAKERSVILLEYear 1992

4. Name \_\_\_\_\_

Year \_\_\_\_\_

2. Name \_\_\_\_\_

Year \_\_\_\_\_

5. Name \_\_\_\_\_

Year \_\_\_\_\_

3. Name \_\_\_\_\_

Year \_\_\_\_\_

6. Name \_\_\_\_\_

Year \_\_\_\_\_

## Field Dates and Project Area Description

Fieldwork Dates: Start 11-23-2023 End 11-24-2023 Total Area Surveyed (fill in one) \_\_\_\_\_ hectares 561.00 acresNumber of Distinct Tracts or Areas Surveyed 1If Corridor (fill in one for each) Width: \_\_\_\_\_ meters 850 feet Length: \_\_\_\_\_ kilometers 5.82 miles



## Research and Field Methods

Types of Survey (select all that apply): ☒ archaeological ☒ architectural ☒ historical/archival ☐ underwater  
☐ damage assessment ☐ monitoring report ☐ other(describe): \_\_\_\_\_

## Scope/Intensity/Procedures

Systematic archaeological survey within the project ROW. Historic structures survey within the APE.

## Preliminary Methods (select as many as apply to the project as a whole)

☐ Florida Archives (Gray Building) ☐ library research- local public ☒ local property or tax records ☒ other historic maps ☐ LIDAR  
☒ Florida Photo Archives (Gray Building) ☐ library-special collection ☒ newspaper files ☒ soils maps or data ☐ other remote sensing  
☒ Site File property search ☒ Public Lands Survey (maps at DEP) ☒ literature search ☒ windshield survey  
☒ Site File survey search ☐ local informant(s) ☐ Sanborn Insurance maps ☒ aerial photography  
☐ other (describe): \_\_\_\_\_

## Archaeological Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** archaeological methods were used.  
☐ surface collection, controlled ☐ shovel test-other screen size ☐ block excavation (at least 2x2 m) ☐ metal detector  
☐ surface collection, uncontrolled ☐ water screen ☐ soil resistivity ☐ other remote sensing  
☒ shovel test-1/4" screen ☐ posthole tests ☐ magnetometer ☒ pedestrian survey  
☐ shovel test-1/8" screen ☐ auger tests ☐ side scan sonar ☐ unknown  
☐ shovel test 1/16" screen ☐ coring ☐ ground penetrating radar (GPR)  
☐ shovel test-unscreened ☐ test excavation (at least 1x2 m) ☐ LIDAR  
☐ other (describe): \_\_\_\_\_

## Historical/Architectural Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** historical/architectural methods were used.  
☐ building permits ☐ demolition permits ☐ neighbor interview ☐ subdivision maps  
☐ commercial permits ☐ windshield survey ☐ occupant interview ☐ tax records  
☐ interior documentation ☒ local property records ☐ occupation permits ☐ unknown  
☐ other (describe): \_\_\_\_\_

## Survey Results

Resource Significance Evaluated? ☒ Yes ☐ No

Count of Previously Recorded Resources 4 Count of Newly Recorded Resources 11

List Previously Recorded Site ID#s with Site File Forms Completed (attach additional pages if necessary)

8SJ04044, 8SJ05074, 8SJ05075, 8SJ05076

List Newly Recorded Site ID#s (attach additional pages if necessary)

8SJ08214, 8SJ08215, 8SJ08216, 8SJ08217, 8SJ08218, 8SJ08219, 8SJ08220, 8SJ08221, 8SJ08222, 8SJ08223, 8SJ08224

Site Forms Used: ☐ Site File Paper Forms ☒ Site File PDF Forms

## REQUIRED: Attach Map of Survey or Project Area Boundary

## SHPO USE ONLY

## SHPO USE ONLY

## SHPO USE ONLY

Origin of Report: ☐ 872 ☐ Public Lands ☐ UW ☐ 1A32 # \_\_\_\_\_ ☐ Academic ☐ Contract ☐ Avocational  
☐ Grant Project # \_\_\_\_\_ ☐ Compliance Review: CRAT # \_\_\_\_\_  
 Type of Document: ☐ Archaeological Survey ☐ Historical/Architectural Survey ☐ Marine Survey ☐ Cell Tower CRAS ☐ Monitoring Report  
☐ Overview ☐ Excavation Report ☐ Multi-Site Excavation Report ☐ Structure Detailed Report ☐ Library, Hist. or Archival Doc  
☐ Desktop Analysis ☐ MPS ☐ MRA ☐ TG ☐ Other: \_\_\_\_\_  
 Document Destination: Plottable Projects Plotability: \_\_\_\_\_





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## **APPENDIX C.**

### **DEMOLITION LETTER**





December 10, 2023

Chris Fowler  
Assistant Supervisor Florida Master Site File  
500 S. Bronough St.  
Tallahassee, FL 32399-0250

Subject: Demolished Resources, Cultural Resource Assessment Survey of State Road 16  
from IGP to I-95, St. Johns County, Florida

Dear Mr. Fowler,

During background research and fieldwork, it was discovered that 2 previously recorded buildings (8SJ04042 AND 8SJ04043) are demolished (**Table 1; Figure 1-2**). Any further documentation of these resources, which fall outside of the APE is beyond the current scope of services.

If there are any questions, please feel free to contact me.

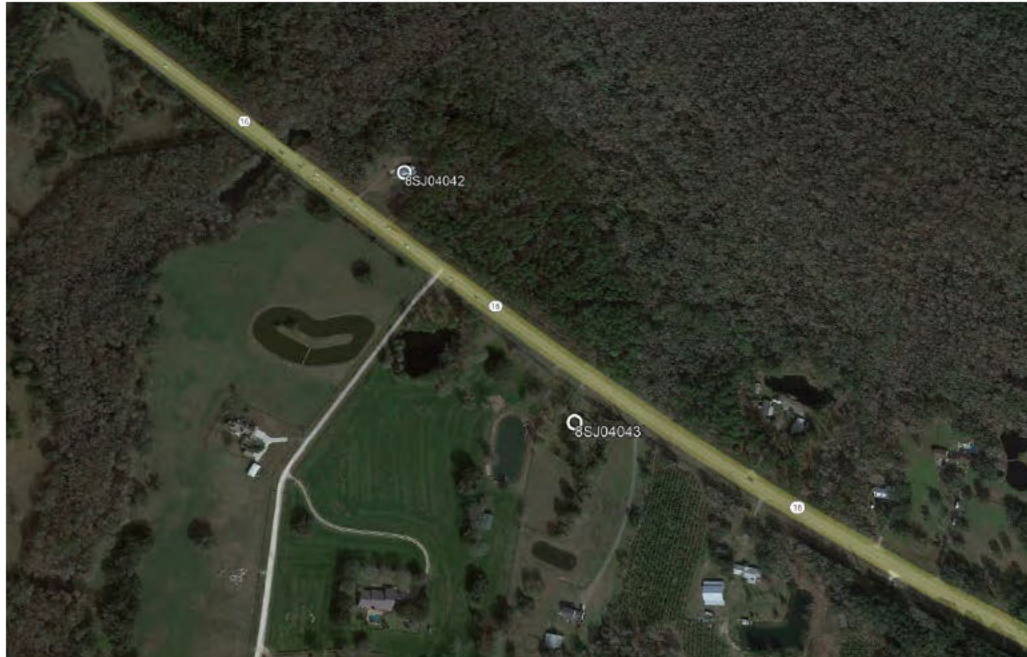
Sincerely,

Kate Willis



**Table 1. Previously Recorded Cultural Resources Confirmed as Demolished within the APE**

<i>Historic Buildings</i>				
FMSF No.	Name/Address	Demolished or Misplotted	Year Built	SHPO Evaluation
8SJ04042	4250 SR 16	Demolished; Figure 1	1935	Ineligible (April 11, 2007)
8SJ04043	4125 SR16	Demolished; Figure 1	1910	Ineligible (April 11, 2007)



**Figure 1. Mapped location of 8SJ04042 and 8SJ04043 in 2023 (top) and 1999 (bottom) (Google Earth 2023, 1999)**